



# Board of Adjustment Staff Report

Meeting Date: August 2, 2018

Agenda Item: 8B

SPECIAL USE PERMIT CASE NUMBER: WSUP18-0014 (Madole Construction)

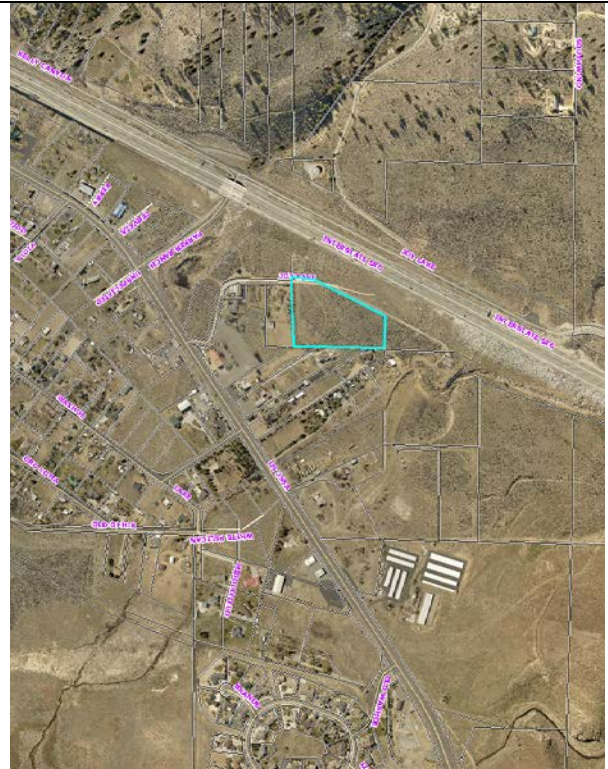
**BRIEF SUMMARY OF REQUEST:** To approve a special use permit for operable vehicle storage, and Construction Sales and Services within the general commercial regulatory zone.

**STAFF PLANNER:** Planner's Name: Chris Bronczyk  
Phone Number: 775.328.3612  
E-mail: [cbronczyk@washoecounty.us](mailto:cbronczyk@washoecounty.us)

### CASE DESCRIPTION

For possible action, hearing, and discussion to approve a Special Use Permit for Madole Construction to allow for Operable Vehicle Storage and Construction Sales and Services within the General Commercial Regulatory Zone. The applicant is also requesting a modification of standards set forth in Article 412: Landscaping, to place required trees and other landscape buffering closer to the developed portion of the project rather than adjacent to the area abutting the right-of-way near the project or other parcels nearby. The proposed plan includes constructing a proposed office building with an attached garage/shop. The shop space is intended to be used as storage of supplies and tools and is not intended to be used as a warehouse for receiving and storing goods for resale.

Applicant:	Madole Construction
Property Owner:	Gurnea Family Trust
Location:	0 Joy Lake Road
APN:	046-170-24
Parcel Size:	5.61 Acres
Master Plan:	Commercial (C)
Regulatory Zone:	General Commercial (GC)
Area Plan:	South Valleys
Citizen Advisory Board:	South Truckee Meadows/Washoe Valley
Development Code:	Authorized in Article 810, Special Use Permits
Commission District:	2 – Commissioner Lucey



### **STAFF RECOMMENDATION**

APPROVE

**APPROVE WITH CONDITIONS**

DENY

### POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with the conditions contained in Exhibit A to this matter, and the modifications as described in the staff report for this matter to WCC Section 110.412.40 (b) Required Yards Adjoining Streets, WCC Section 110.512.40 (c) *Landscape Buffers Adjoining Residential Uses*, and WCC Section 110.412.40 (d) *Screening Adjoining Residential Uses*, for Special Use Permit Case Number WSUP18-0014 for Madole Construction, having made all five findings in accordance with Washoe County Code Section 110.810.30, and the two findings in accordance with the South Valleys Area Plan:

*(Motion with Findings on Page 9)*

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Public Notice .....Exhibit H

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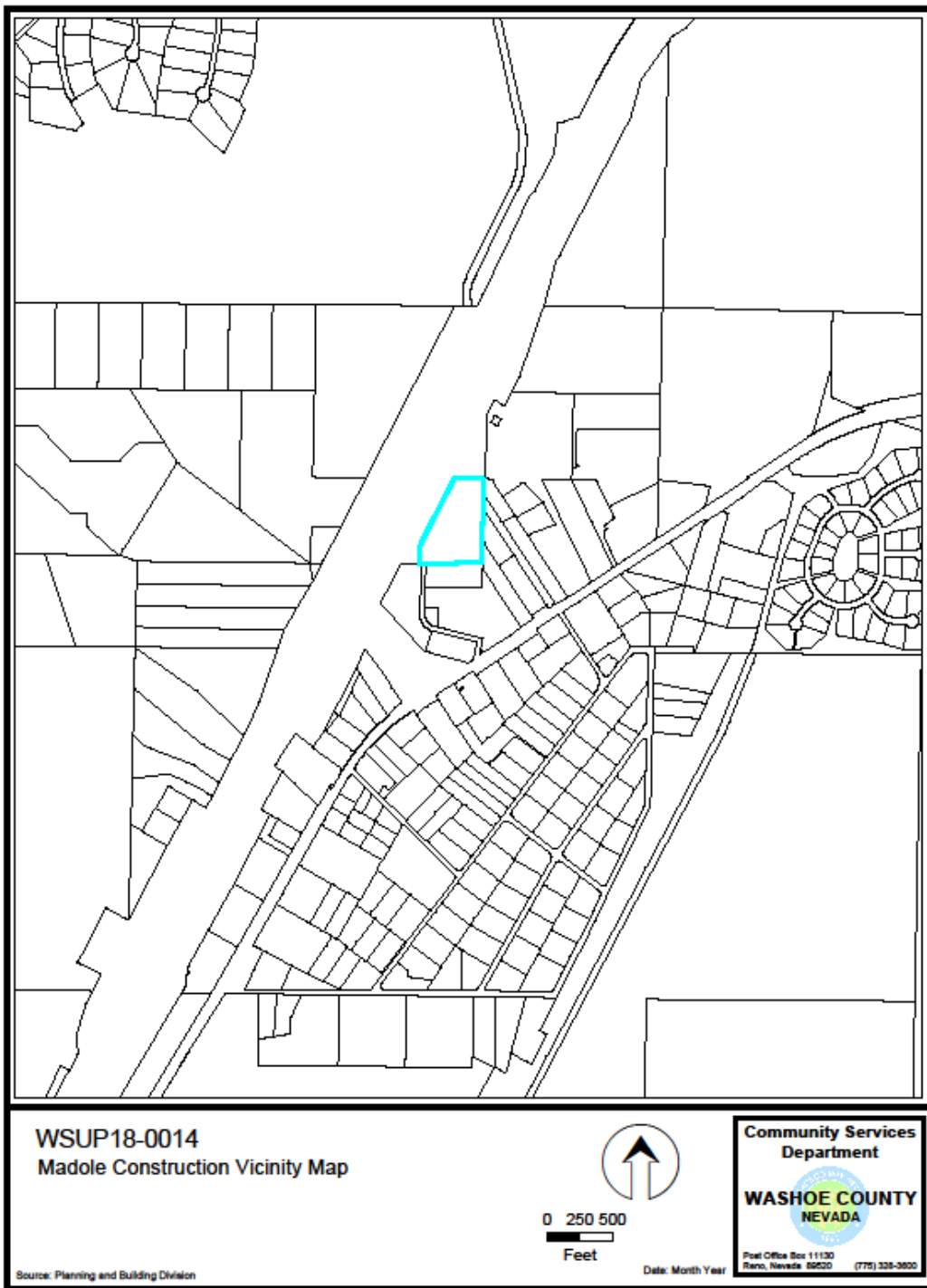
### **Special Use Permit**

The purpose of a Special Use Permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the Special Use Permit, that approval is subject to Conditions of Approval. Conditions of Approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

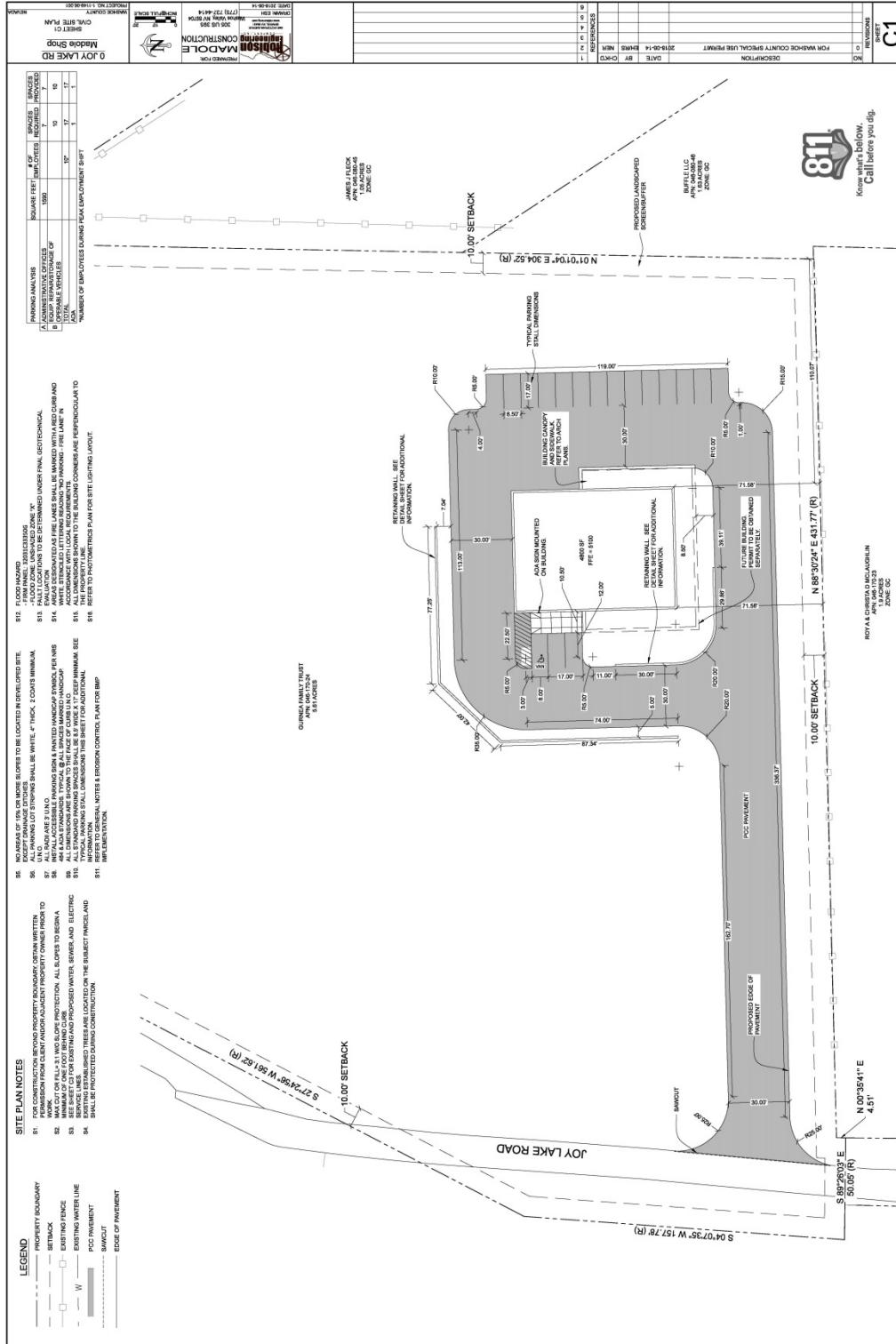
- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some Conditions of Approval are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the business or project.

The Conditions of Approval for Special Use Permit Case Number WSUP18-0014 is attached to this staff report and will be included with the Action Order.

The subject property has a General Commercial (GC) regulatory zone. The proposed use of Construction Sales and Services is classified a Commercial Use type which is permitted in the General Commercial (GC) regulatory zone with a special use permit (SUP) per Washoe County Code (WCC) 110.302.05.3. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment (Board). The applicant is also asking for a modification of the landscape requirements per Washoe County Code Chapter 110, Article 412, specifically, WCC Section 110.412.40(b) Required Yards Adjoining Streets, 110.412.40 (c) Landscape Buffers Adjoining Residential Uses, and 110.412.40(d) Screening Adjoining Residential Uses.



**Vicinity Map**



Site Plan

## **Project Evaluation**

Madole Construction is a building maintenance company that maintains and repairs existing buildings including foundations, correcting crawlspaces, and other maintenance work.

The applicant is seeking approval to operate a Construction Sales and Services commercial use type located at 0 Joy Lake Road, between I-580 and US 395 in Washoe Valley. The 5.611 acre vacant parcel of land has a regulatory zone of General Commercial and a Master Plan category of Commercial. This parcel is located within the Old Washoe City Historic District. The proposed plan includes constructing a proposed office building with an attached garage/shop (see site plan). The shop space is intended to be used for the storage of supplies and tools and is not intended to be used as a warehouse for receiving and storing goods for resale.

WCC Chapter 110, Article 304, *Use Classification System*, defines the Construction Sales and Services commercial use type as establishments or places of business primarily engaged in construction activities and incidental storage, as well as the retail or wholesale sale from the premises, of material used in the construction of buildings or other structures.

Additionally, Article 304 defines the Storage of Operable Vehicles commercial use type as the storage of operable vehicles, recreational vehicles, and boat trailers.

The applicant is also proposing to submit for annexation into the TMWA service territory and is proposing an engineered septic system to be constructed onsite. Construction will not be done in phases. The applicant has indicated that 17 parking spaces will be located on site; all parking must comply with the standards of WCC Chapter 110, Article 410, *Parking and Loading*.

Adjacent properties to the east and south all have General Commercial regulatory zones. Their uses are mixed with commercial and residential uses. To the north and west is Interstate 580, and beyond the interstate are all properties with General Rural regulatory zones, those properties are largely vacant.

## **Modification of Standards**

The applicants are requesting a modification of standards from WCC Chapter 110, Article 412, *Landscaping*, as part of the Special Use Permit application. They are asking to modify WCC Section 110.412.40 (b) *Required Yards Adjoining Streets*. That code section establishes that all required yards which adjoin a public street shall be landscaped and shall include at least one (1) tree for every fifty (50) linear feet of street frontage, or fraction thereof.

The applicant's initial request was to install the number of required street trees as part of the project, however they would like the street trees to be located near the developed area rather than along the property line abutting the Right-of-Way that will remain undisturbed and undeveloped.

*Staff Comment:* The parcel abuts the I-580 Right-of-Way along three property lines, approximately 952 linear feet in total length. With approval of the modification, the applicant would be required to plant 19 trees around the developed area. Staff supports the modification and the modified language is shown in Exhibit A, condition 1 (f).

On July 12, 2018 the applicant provided staff with an amended modification of standards request.

The applicant's amended request is to modify WCC Section 110.412.40 (C) *Landscape Buffers Adjoining Residential Uses*, and WCC Section 110.412.40 (D), *Screening Adjoining Residential Uses*.

The applicant's request is expanded to require buffering landscaping and screening standards adjacent to the proposed development area and not to require the buffering landscaping and screening standards along the easterly property boundary in areas which are proposed to remain undisturbed native vegetation.

Staff Comment: Staff supports this request. The northern portion of the property is proposed to remain undisturbed, the applicant is only proposing to develop a small portion of the property and staff believes buffering and screening the proposed development from the properties closest to the development would be advantageous while allowing for the remainder of the site to stay undisturbed. The modified language is shown in Exhibit A, condition 1 (g). The applicant has provided staff with an exhibit to show their request (Exhibit G)

### **South Valleys Area Plan**

The South Valleys Area Plan addresses Special Use Permit requirements and development standards. The following Goals and Policies are relevant to the proposed application.

**SV.2.3** - Site development plans in the South Valleys planning area must submit a plan for the control of noxious weeds. The plan should be developed through consultation with the Washoe County District Health Department, the University of Nevada Cooperative Extension, and/or the Washoe-Storey Conservation District. The control plan will be implemented on a voluntary compliance basis.

Staff Comment: As part of the conditions of approval, the applicant will be required to meet policy SV.2.3.

**SV.2.4** - Applicants required to present their items to the Citizen Advisory Board (CAB) must submit a statement to staff regarding how the final proposal responds to the community input received from the CAB.

Staff Comment: The applicant presented to the CAB on July 5, 2018 and has provided a statement to staff on how the final proposal responds to community input. (Exhibit E)

**SV.2.7** - Any lighting proposed must show how it is consistent with current Best Management Practices "dark-sky" standards. In subdivisions established after the date of final adoption of this Plan, the use of streetlights will be minimized.

Staff Comment: The applicant provided written statement related to policy SV.2.7. Exterior lighting will be limited to sconces on buildings which will be controlled by at least the following methods.

- Hooding for limited sidecast lighting, compliant with the most stringent "dark sky" recommendations
- Motion sensors for lights typically left off; only turning on when people are present
- LED lighting selected for safe ingress/egress in immediately adjacent parking and pedestrian travel areas only
- Other recommendations from electrical subcontractor during installation, if codes or interpretation of standards change.

**SV.2.16** - The approval of all special use permits and administrative permits must include a finding that the community character as described in the Character Statement can be adequately conserved through mitigation of any identified potential negative impacts.

Staff Comment: The proposed development is being placed on a small area of the overall property. While this is an effort to develop on the flatter portions of the property, they are also proposing to leave a large majority of the lot untouched and in its natural state. This will help continue emphasizing the rural nature of this region. With the proposed conditions of approval which assist in additional mitigation of any potential negative impacts, this finding can be made.

**SV.8.2** - In order to reflect the community character described in the character statement, the land uses available in the regulatory zones established in the Old Washoe City Historic District differ from those in the same regulatory zones in the Development Code. Appendix A, Table 2:

Allowable Land Uses in the Old Washoe City Historic District lists the land uses available under each land use designation in this district.

Staff Comment: The project location is within the Old Washoe City District. Appendix A, Table 2 in the South Valleys Area Plan allows the Storage of Operable Vehicles and Construction Sales and Services commercial use types within the General Commercial (GC) regulatory zone, subject to a Special Use Permit approved by the Board of Adjustment.

**SV.18.3** - The granting of special use permits in the South Valleys must be accompanied by a finding that no significant degradation of air quality will occur as a result of the permit. As necessary, conditions may be placed on special use permits to ensure no significant degradation of air quality will occur. The Department of Community Development will seek the advice and input of the Air Quality Division of the Department of Health in the implementation of this policy.

Staff Comment: The project was sent to Air Quality for review. Staff did not receive any comments indicating that there would be significant degradation of air quality. Therefore this finding can be made.

### **South Truckee Meadows/Washoe Valley Citizen Advisory Board (STM/WV CAB)**

The proposed project was presented by the applicant's representative at the regularly scheduled Citizen Advisory Board meeting on July 5, 2018. The proposal was unanimously recommended for approval by the Citizen Advisory Board.

### **Reviewing Agencies**

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
  - Planning and Building Division
  - Engineering and Capital Projects Division
  - Sewer
  - Parks and Open Spaces
- Washoe County Health District
  - Air Quality
- Washoe County Sheriff's Office
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Washoe-Storey Conservation District

Four out of the ten above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report and will be included with the Action Order if the application is approved by the Board.

- Washoe County Planning and Building Division addressed operational requirements in effect for the life of the project.

**Contact: Chris Bronczyk, 775.328.3612, cbronczyk@washoecounty.us**

- Washoe County Water Rights provided conditions related to water rights or a will serve letter necessary to support the proposed facility.



**Contact: Vahid Behmaram, 775.954.4647, vbehmaram@washoecounty.us**

- Washoe County Engineering and Capitol Projects Division addressed construction and grading bonds, and drainage code requirements.

**Contact: Leo Vesely, 775.328.2313, lvesely@washoecounty.us**

- Washoe County Health District addressed septic requirements.

**Contact: Wesley Rubio, 775.328.2434, wrubio@washoecounty.us**

### **Staff Comment on Required Findings**

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan.

Staff Comment: The proposal is consistent with the Master Plan and the South Valleys Area Plan, as described earlier in this staff report. This consistency includes complying with Policy SV 8.2, which regulates certain use types to certain districts. The proposed Construction Services and Sales, and Operable Vehicle Storage commercial use types are permitted in the General Commercial regulatory zone within the Old Washoe City Historic District.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: Adequate facilities are available or will need to be provided by the applicant to serve the proposed development. The applicant is proposing an engineered septic system for the project site.

3. Site Suitability. That the site is physically suitable for the type of development and for the intensity of such a development.

Staff Comment: The South Valleys Area Plan's Development Suitability Map identifies the majority of the subject parcel as unconstrained, with the northeast property line having slopes of 15% or greater. Areas that have been identified as 15% or greater slopes will remain undeveloped.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: As proposed and with the conditions of approval, the proposed uses are expected to create minimal impacts and not cause significant detriment or injury to the public, adjacent properties, or surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: No military installations are located within the required noticing distance, therefore this finding does not apply to this project.

## **Recommendation**

Those agencies which reviewed the application recommended conditions in support of approval of the project or provided no comments. Therefore, after a thorough analysis and review, Special Use Permit Case Number WSUP18-0014 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

## **Motion**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with the conditions contained in Exhibit A to this matter, and the modifications to WCC Section 110.412.40 (b) Required Yards Adjoining Streets, WCC Section 110.512.40 (c) *Landscape Buffers Adjoining Residential Uses*, and WCC Section 110.412.40 (d) *Screening Adjoining Residential Uses*, for Special Use Permit Case Number WSUP18-0014 for Madole Construction, having made all five findings in accordance with Washoe County Code Section 110.810.30, and the two findings in accordance with the South Valleys Area Plan:

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the South Valleys Area Plan
2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. **Site Suitability.** That the site is physically suitable for the type of development and for the intensity of such a development;
4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. **Effect on a Military Installation.** Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Required Findings for the South Valleys Area Plan:

1. **SV.2.16** - The approval of all special use permits and administrative permits must include a finding that the community character as described in the Character Statement can be adequately conserved through mitigation of any identified potential negative impacts.
2. **SV.18.3** - The granting of special use permits in the South Valleys must be accompanied by a finding that no significant degradation of air quality will occur as a result of the permit. As necessary, conditions may be placed on special use permits to ensure no significant degradation of air quality will occur. The Department of Community Development will seek the advice and input of the Air Quality Division of the Department of Health in the implementation of this policy.

## **Appeal Process**

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days

from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant: Madole Construction  
305 US 95  
Washoe Valley, NV 89704

Owner: Gurnea Family Trust  
3381 Cheechako Drive  
Reno, NV 89519

Representatives: Robinson Engineering Company, Inc  
846 Victorian Avenue, Suite 20  
Sparks, NV 89431



# Conditions of Approval

Special Use Permit Case Number WSUP18-0014

The project approved under Special Use Permit Case Number WSUP18-0014 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on August 2, 2018. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

**Unless otherwise specified**, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Special Use Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Special Use Permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "Conditions of Approval" are referred to as "Operational Conditions." These conditions must be continually complied with for the life of the project or business.

**The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.**

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning and Building Division**

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

**Contact Name – Chris Bronczyk, 775.328.3612, [cbronczyk@washoecounty.us](mailto:cbronczyk@washoecounty.us)**

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit.
- b. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- c. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sherriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. All landscaping shall be maintained in accordance with the provisions found in Washoe County Code Section 110.412.75, *Maintenance*. A three-year maintenance plan shall be submitted by a licensed landscape architect registered in the State of Nevada to Planning and Building, prior to any Certificate of Occupancy or issuance of any business license. The plan shall be wet-stamped.
- e. All lighting shall comply with WCC Chapter 110, Article 414, including, but not limited to no spillover beyond the property boundaries and down shielded/cut-off fixtures for all proposed lighting.
- f. Modification to WCC Section 110.412.40(b), *Required Yards Adjoining Streets*. The applicant shall be required to plant one (1) tree for every fifty (50) linear feet to the front of the property, parallel to Joy Lake Road, up to a maximum of 200 linear feet (4 trees). The remaining 15 trees shall be planted around the project site.
- g. Modification to WCC Sections 110.412.40(c) and 110.412.40 (d), *Landscape Buffers and Screening Adjoining Residential Uses*, to require buffering landscaping and screening adjacent to the proposed development area, and to continue along the easterly property fifty (50) feet past the developed area in order to screen view from the Fleck property (APN: 046-080-45).
- h. A wall or fence shall be constructed between the approved commercial use and the adjacent residential uses, and shall be constructed of long-lasting materials such as chain-link fencing with privacy slats that achieve at least 75% visual screening. Wood fencing is not acceptable.
- i. All grading shall comply with WCC Chapter 110, Article 438, *Grading Standards*.
- j. Parking shall comply with WCC Chapter 110, Article 510, *Parking and Loading*.
- k. The following **Operational Conditions** shall be required for the life of the business:

1. Failure to comply with the conditions of approval shall render this approval null and void. Compliance with this condition shall be determined by Planning and Building.
2. This special use permit shall remain in effect as long as the business is in operation and maintains a valid business license.

### **Washoe County Engineering and Capital Projects Division**

2. The following conditions are requirements of the Engineering and Capital Projects Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Leo Vesely, 775.328.2041, [ivesely@washoecounty.us](mailto:ivesely@washoecounty.us)**

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. For construction areas larger than 1 acre, the developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The Truckee Meadows Regional Stormwater Quality Management Program Construction Permit Submittal Checklists and Inspection Fee shall be submitted with the grading permit.
- d. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
- e. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
- f. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Specifications for revegetation procedure and seed mix shall be prepared by a licensed landscape architect.

Drainage (WCC Chapter 110, Articles 416, 420, and 421)

- g. A detailed hydrology/hydraulic report prepared by a licensed engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- h. Any increase in peak stormwater runoff flow rate resulting from the development and based on the 5 year and 100 storm(s) shall be detained onsite

### **Washoe County Water Rights**

3. The following conditions are requirements of the Water Rights Manager, which shall be responsible for determining compliance with these conditions.

**Contact Name – Vahid Behmaram, 775.954.4647, [vbehmaram@washoecounty.us](mailto:vbehmaram@washoecounty.us)**

- a. Applicant shall provide a will serve letter from TMWA indicating that they have completed the annexation process, have secured necessary water rights, and paid requisite connection fees to support water service to the proposed project.

**Washoe County Health District**

4. The following conditions are requirements of the Washoe County Health District (WCHD), Environmental Health Services Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Wesley Rubio, 775.328.2434, [wrubio@washoecounty.us](mailto:wrubio@washoecounty.us)**

- a. Prior to any approval by WCHD, the following must be provided:
  1. An approved Site Plan with all proposed construction and the proposed septic locations approved by NDEP, Bureau of Water Pollution Control. This must have NDEP approvals on the site plan.
  2. The site plan is required to have all NDEP approvals, the associated approval letter, and must match the building plans submitted for review.

\*\*\* End of Conditions \*\*\*



# WASHOE COUNTY

## COMMUNITY SERVICES DEPARTMENT

### Engineering and Capital Projects

1001 EAST 9<sup>TH</sup> STREET  
PO BOX 11130  
RENO, NEVADA 89520-0027  
PHONE (775) 328-3600  
FAX (775) 328.3699

Date: July 09, 2018

To: Chris Bronczyk, Planning and Building Division

From: Leo R. Vesely, P.E., Engineering and Capitol Projects Division

Re: SUP for Madole Construction - WSUP18-0014  
APN 046-170-24

#### GENERAL CONDITIONS

Contact Information: Leo R. Vesely, P.E. (775) 328-2041

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. For construction areas larger than 1 acre, the developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading permit.
3. The Truckee Meadows Regional Stormwater Quality Management Program Construction Permit Submittal Checklists and Inspection Fee shall be submitted with the grading permit.
4. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
5. Cross-sections indicating cuts and fills shall be submitted when applying for a grading permit. Estimated total volumes shall be indicated.
6. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Specifications for revegetation procedure and seed mix shall be prepared by a licensed landscape architect.

#### DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Leo R. Vesely, P.E. (775) 328-2041

1. A detailed hydrology/hydraulic report prepared by a licensed engineer shall be submitted to the Engineering Division for review and approval. The report shall include



INTEGRITY



EFFECTIVE  
COMMUNICATION



QUALITY  
PUBLIC SERVICE



Subject: Murry Ranch SUP for Grading - WSUP18-0011  
Date: June 6, 2018  
Page: 2

the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.

2. Any increase in peak stormwater runoff flow rate resulting from the development and based on the 5 year and 100 storm(s) shall be detained onsite.

**TRAFFIC AND ROADWAY (COUNTY CODE 110.436)**

Contact Information: Clara Lawson, P.E. (775) 328-3603

There are no traffic related conditions of approval.

**UTILITIES (County Code 422 & Sewer Ordinance)**

Contact Information: Tim Simpson, P.E. (775) 954-4648

There are no utility related conditions of approval



**WASHOE COUNTY**  
**COMMUNITY SERVICES**  
**INTEGRITY COMMUNICATION SERVICE**

P.O. Box 11130  
Reno, Nevada 89520-0027  
Phone: (775) 328-3600  
Fax: (775) 328-3699

June 26, 2018

TO: Chris Bronczyk, Planner, CSD, Planning & Building Division

FROM: Vahid Behmaram, Water Management Planner Coordinator, CSD

SUBJECT: Special Use Permit Case Number WSUP18-0014 (Madole Construction)

**Project description:**

The applicant is requesting the approval of a Special Use Permit for Madole Construction to allow for Operable Vehicle Storage in the General Commercial Regulatory Zone. Madole Construction is classified as Building Maintenance Services which is allowed in the General Commercial Regulatory Zone, per WCC Table 110.302.05.3; and is allowed per the South Valleys Area Plan.

Location: 0 Joy Lake Road, Assessor's Parcel Number: 046-170-24

*The Community Services Department (CSD) recommends approval of this project with the following comments and Water Rights conditions:*

***Comments:***

- 1) This application indicates the project will annex to and receive water service from TMWA. The annexation process has not been initiated as of this date.

***Conditions:***

- 1) Applicant shall provide a will serve letter from TMWA indicating that they have completed the annexation process, have secured necessary water rights, and paid requisite connection fees to support water service to the proposed project.

**WASHOE COUNTY  
HEALTH DISTRICT**  
ENHANCING QUALITY OF LIFE

July 9, 2018

Chad Giesinger, Senior Planner  
Washoe County Community Services  
Planning and Development Division  
PO Box 11130  
Reno, NV 89520-0027

RE: Madole Construction; APN 046-170-24  
Special Use Permit; WSUP18-0014

Dear Mr. Giesinger:

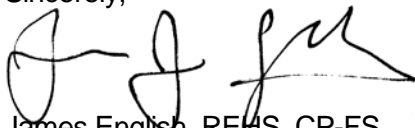
The following conditions are requirements of the Washoe County Health District, Environmental Health Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Wesley Rubio, 775.328.2434, [wrubio@washoecounty.us](mailto:wrubio@washoecounty.us)**

- a. Prior to any approval by WCHD, the following must be provided:
  - a. An approved Site Plan with all proposed construction and the proposed septic locations approved by NDEP, Bureau of Water Pollution Control. This must have NDEP approvals on the site plan.
  - b. The site plan is required to have all NDEP approvals, the associated approval letter, and must match the building plans submitted for review.

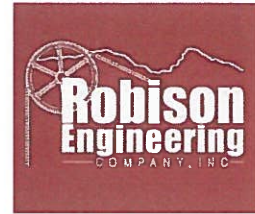
If you have any questions or would like clarification regarding the foregoing, please contact Wes Rubio, Senior Environmental Health Specialist at [wrubio@washoecounty.us](mailto:wrubio@washoecounty.us) regarding all Health District comments.

Sincerely,



James English, REHS, CP-FS  
EHS Supervisor  
Waste Management/Land Development Programs

JE:wr



Christopher Bronczyk  
Washoe County Planning & Building  
1001 E. Ninth St  
Reno, NV 89512

Date: 2018-07-11

**SUBJECT:** SUP Case No. WSUP18-0014 (Madole Construction)  
0 Joy Lake Road  
APN 046-170-24

**RENG Project #**  
1-913-01.001

Christopher,

This letter responds to your request for information in the process of the SUP application, and following from the Citizen's Advisory Board (CAB) meeting of July 5, 2018.

SV.2.4. Statement in response to community input received at the CAB meeting:

- 1) Will access be via unpaved portion of Joy Lake Road?
  - a. No; proposed access will be paved, from existing paved portion of the road.
- 2) What will business hours be?
  - a. Normal construction business hours 7am-5pm, though of course office and late work access may occur occasionally outside of those times.
- 3) Only 1/5 of the parcel is being used: is future development planned?
  - a. No development is planned, and I stated that the sloped property discourages large yard development or other flat areas.
- 4) Concern regarding "beep,beep,beep" backup horns.
  - a. OSHA requires non-disableable alarms on construction trucks. There are several contractors in the immediate area, and the proposed use should not increase backup alarms noticeably.
- 5) Distance from existing Marijuana business?
  - a. Approximately 1000 feet.
- 6) Concern over appearance of metal building.
  - a. The building is professionally designed by Architect Derwin H. Bass, AIA with a western porch theme which will complement the neighborhood building styles.

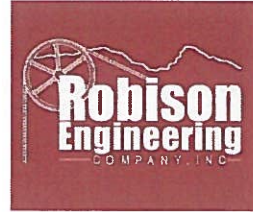
SV.2.7. Lighting proposed must be consistent with BMPs for "dark sky" standards.

- 1) Exterior lighting is limited to sconces on buildings, which will be controlled by at least the following methods:
  - a. Hooding for limited sidecast compliant with the most stringent "dark sky" recommendations
  - b. Motion sensors for lights typically left off; only turning on when people are present.
  - c. LED lighting selected for safe ingress/egress in immediately adjacent parking and pedestrian travel areas only.
  - d. Other recommendations from electrical subcontractor during installation, if codes or interpretation of standards changes.

Additionally, please see the attached revised Directors Modification Request form which clarifies the proposed landscaping conformance to the intent of the regulation.

Robison Engineering Company, Inc  
846 Victorian Avenue, Suite 20  
Sparks, NV US

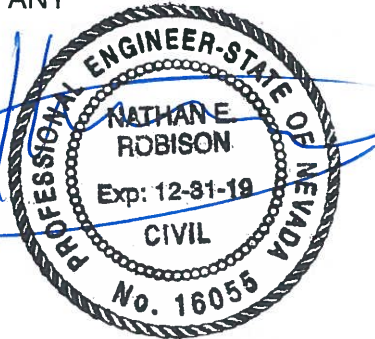
[www.robisoneng.com](http://www.robisoneng.com)



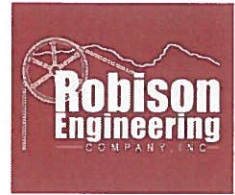
Please do not hesitate to contact me if you have any further questions or need further assistance.

Sincerely,  
ROBISON ENGINEERING COMPANY

Nathan Earl Robison, PE, WRS  
(775) 852-2251 x 700  
[nathan@robisoneng.com](mailto:nathan@robisoneng.com)



2018-07-11



**Madole Construction**  
**Special Use Permit – APN: 046-170-24**

**DIRECTOR'S MODIFICATION REQUEST CLARIFICATION (Rev.2018-07-11)**

Dear Washoe County

The subject application for a Special Use Permit is to allow the use of Construction Sales and Services as well as Storage of Operable Vehicles for the proposed Madole Construction office. The parcel abuts the I-580 Right-Of-Way along three property lines (952'). The parcel is approximately 5.61 acres and approximately 1.27 acres of the site will be developed. The proposed development will be located in the southeast corner of the site. Approximately 4.34 acres of the site shall remain undeveloped and the existing vegetation is to be preserved.

We have reviewed Washoe County Development Code Section 110 and request that certain specific conditions be considered for Director's Modification, due to the unique location of the lot, as follows:

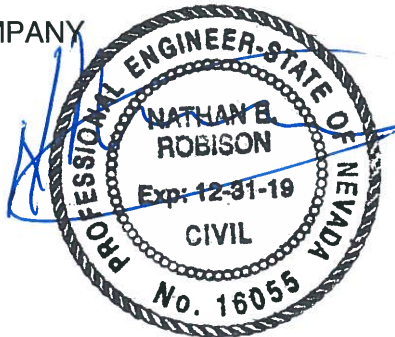
Article 412: Landscaping

- 110.412.40(b) Required Yards Adjoining Streets. All required yards which adjoin a public street shall be landscaped and shall include at least one (1) tree for every fifty (50) linear feet of street frontage, or fraction thereof.
  - o Requested: Client proposes to install the number of required street trees as part of the project; however, a waiver is requested to allow street trees be located near the developed area rather than along the property line abutting the ROW that will remain undisturbed and undeveloped.
- 110.412.40(c and d) Landscaped buffers and Screening adjoining residential uses.
  - o Requested: Buffering landscaping and screening standards shall be required adjacent to the proposed development area, and not required to continue along the easterly property boundary in areas proposed to remain undisturbed native vegetation.

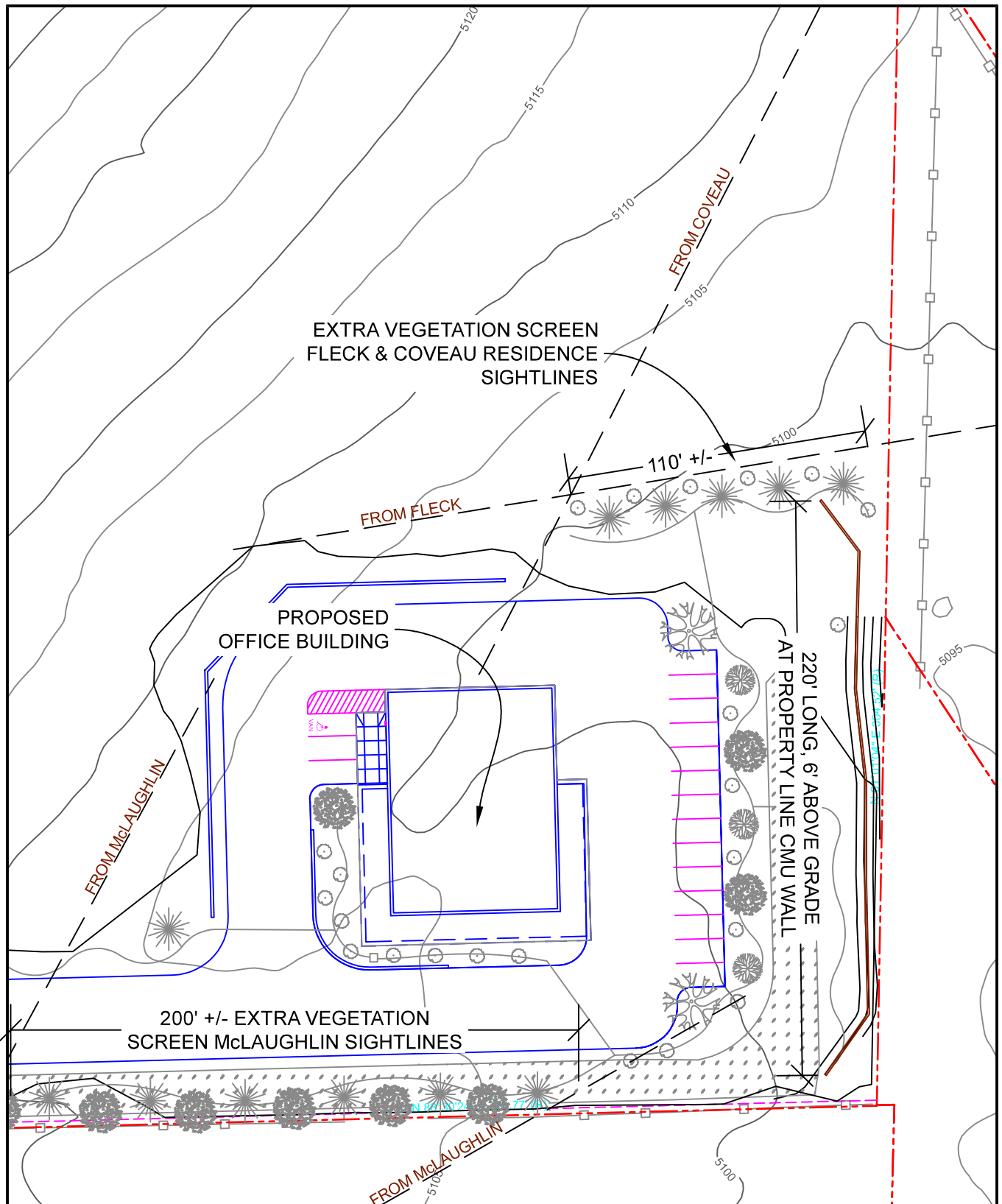
Please do not hesitate to contact me if you have any further questions or need further assistance.

Sincerely,  
ROBISON ENGINEERING COMPANY

Nathan Earl Robison, PE, WRS  
(775) 852-2251 x 700  
[nathan@robisoneng.com](mailto:nathan@robisoneng.com)



2018-02-11



**Robison Engineering**  
COMPANY, INC.

846 VICTORIAN AVENUE  
SPARKS, NV 89431  
www.robisoneng.com

DRAWN: NER  
DATE: 2018-07-18

PREPARED FOR:  
**MADOLE CONSTRUCTION**

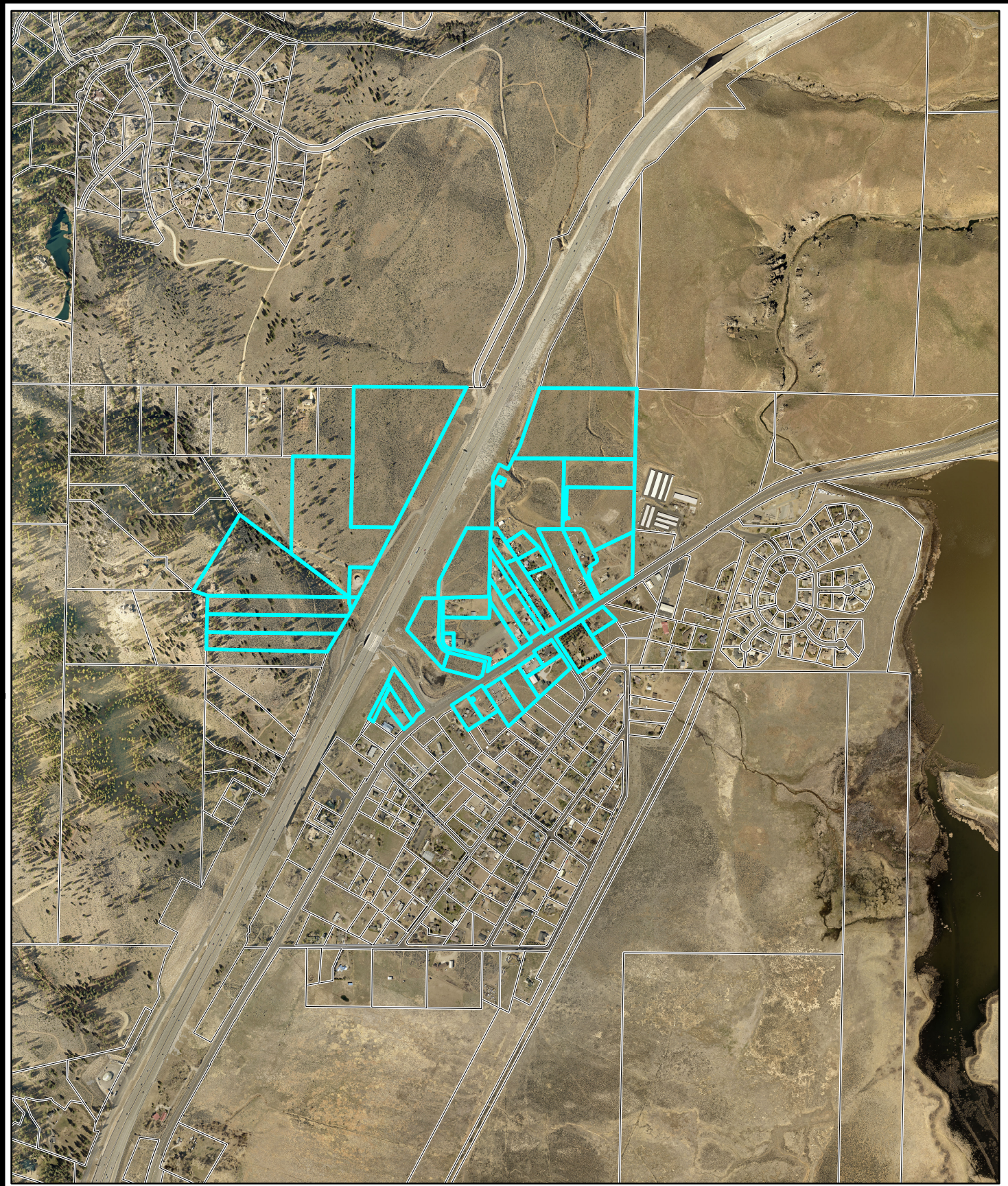
305 US 395  
Washoe Valley, NV 89704  
(775) 737-4414

0 25' 20'  
INCH@FULL SCALE

**0 JOY LAKE RD**  
**Madole Shop**

FIGURE 1  
SCREENING DIAGRAM

WASHOE COUNTY NEVADA  
PROJECT NO. 1-1149-06.001

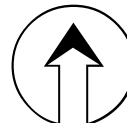


WSUP18-0014 (Madole Construction)  
Notice Map - 1,000 Feet

0 250500



Feet



Date: Month Year

Community Services  
Department



Post Office Box 11130  
Reno, Nevada 89503



# Community Services Department

## Planning and Building

### SPECIAL USE PERMIT

(see page 5)

### SPECIAL USE PERMIT FOR GRADING

(see page 11)

### SPECIAL USE PERMIT FOR STABLES

(see page 16)

## APPLICATION



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Madole Construction Civil Improvement Plans</b>			
Project Description: Project includes grading, utility extension, paving, and all other necessary civil improvements to accompany the construction of a proposed office building.			
Project Address: 0 Joy Lake Road			
Project Area (acres or square feet): 5.61 acres			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>Joy Lake Road and ALT 395A</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
046-170-24	5.61		
Section(s)/Township/Range: S23 T17N R19			
<b>Indicate any previous Washoe County approvals associated with this application:</b>			
Case No.(s). N/A			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Gurnea Family Trust		Name: Robison Engineering Company, Inc	
Address: 3381 Cheechako Drive		Address: 846 Victorian Avenue, Suite 20	
Reno, NV	Zip: 89519	Sparks, NV	Zip: 89431
Phone: 775-690-4788	Fax:	Phone: 775-852-2251	Fax: 852-9736
Email: robert@gurneaconstruction.com		Email: nathan@robisoneng.com	
Cell: 775-690-4788	Other:	Cell: 775-2407652	Other:
Contact Person: Robert Gurnea		Contact Person: Nathan Robison, PE	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Madole Construction		Name:	
Address: 305 US 395		Address:	
Washoe Valley, NV	Zip: 89704		Zip:
Phone: 775-737-4414	Fax: 737-4415	Phone:	Fax:
Email: ray@madoleconstruction.com		Email:	
Cell: 775-843-4548	Other:	Cell:	Other:
Contact Person: Ray Madole		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Property Owner Affidavit

**Applicant Name:** Madole Construction

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA     )  
                                  )  
COUNTY OF WASHOE    )

I, Robert Guenea  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

**(A separate Affidavit must be provided by each property owner named in the title report.)**

Assessor Parcel Number(s): 046-170-24

Printed Name Robert Guenea

Signed [Signature]

Address 3381 Chechako Drive  
[Signature]  
(Notary Stamp)

Subscribed and sworn to before me this 14th day of June, 2018.

Nevada Washoe County  
Notary Public in and for said county and state

My commission expires: 3/17/2020



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

July 1, 2017

# Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

The proposed plan of development includes constructing a proposed office building for Madole Construction with an attached garage/shop. Madole Construction is a building maintenance company that maintains and repairs existing buildings including foundations, correcting crawlspaces and other maintenance work. The shop space shall be used for storage of supplies and tools. The proposed storage area will not be used as a warehouse for receiving and storing goods for resale. A SUP is requested to allow for the use of Construction Sales and Services as well as the Storage of Operable Vehicles onsite.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

There are no existing structures onsite.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

The proposed improvements include constructing a new office building, driveway, parking lot, as well as utilities. Coordination with NV Energy is underway for the extension of overhead electric to the site. Currently the TMWA public water system runs along the property frontage in Joy Lake Road. Applicant proposes to submit for annexation into the TMWA service territory. An engineered septic system is proposed to be constructed onsite. The time frame for the project is TBD. The time frame is dependent on permitting and coordination with the utility providers.

4. What is the intended phasing schedule for the construction and completion of the project?

The proposed construction is not anticipated to be phased. If all permits are received in a timely manner, the project is scheduled to begin construction in 2018.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The site consists of a vacant 5.61 acre parcel located in close proximity to US 395 and I-580 allowing the business to function regionally. Currently, the existing Madole Construction office is located within 0.5 miles of the proposed site. The location the new office will continue to allow Madole Construction to serve its clients in the region. I-580 is located north and west of the site. The site is surrounded by general commercial zoned property to the south and east. A proposed landscaped berm will help screen the commercial property from its surrounding neighbors.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

The extension of utility services along Joy Lake Road will help promote development in the area.

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

A detention basin is proposed to mitigate the increase in stormwater runoff from the proposed development. A landscaped berm is proposed to help screen the commercial property from its surrounding neighbors.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

A landscaped berm is proposed to help screen the commercial property from its surrounding neighbors. The berm will help reduce visual impacts as well as noise pollution from the commercial site.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

17 parking spaces are proposed

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Existing vegetation preserved and enhanced in all possible locations. A landscaped berm is proposed to help screen the commercial property from its surrounding neighbors. Internal parking lot landscaping is also proposed in accordance with the Washoe County Development Standards.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--



13. Utilities:

a. Sewer Service	Septic
b. Electrical Service	NV Energy
c. Telephone Service	AT&T
d. LPG or Natural Gas Service	NA
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	NA
g. Water Service	Annexation into the TMWA service territory shall be requested__

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

- l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

Currently there are no water rights associated with the parcel. Water Rights are to be purchased from and dedicated to TMWA upon annexation into the TMWA service territory.

14. Community Services (provided and nearest facility):

a. Fire Station	Truckee Meadows FPD - Stations T30 and T16
b. Health Care Facility	
c. Elementary School	Pleasant Valley
d. Middle School	Depoali
e. High School	Damonte Rance
f. Parks	
g. Library	
h. Citifare Bus Stop	

# Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

It is our understanding that a SUP for grading is not required for this project; however, it is requested that the SUP application be reviewed for grading at the same time it is reviewed for use.

2. How many cubic yards of material are you proposing to excavate on site?

Total: 2,770 CY Cut/ 1,400 CY Fill    EW under pavement & bldg: 1,800 CY Cut 900 CY Fill

3. How many square feet of surface of the property are you disturbing?

Total: 1.27 acres    Under pavement & Bldg: 0.73 acres

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

1,400 CY of export

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

Yes, it is our understanding the per the earthwork calculations, a SUP for grading is not required; however, it is requested at this time that the grading be reviewed as part of the general SUP application.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

Yes

8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

Yes. The disturbed area can be seen from the south and east.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No, the proposed driveway will only serve the project site

10. What is the slope (Horizontal/Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

3:1 maximum slopes are proposed throughout the site. Best Management Practices (BMP's) in accordance with the Truckee Meadows Handbook and the Washoe County Stormwater Protection Ordinances and Standards shall be implemented throughout the site. BMP's will include but are not limited to silt fence, rip-rap and re-vegetation.

11. Are you planning any berms?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, how tall is the berm at its highest? 3'
---	-----------------------------	---

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Yes, 4' max height block CMU

13. What are you proposing for visual mitigation of the work?

Re-vegetation of similar beneficial species (trees and shrubs) and construction of a landscaped berm near the property line for screening from surrounding properties

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

Grading will not require the removal of any trees

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Chipped fir mulch. Hand-planted native tree species plugs, willow and mountain mahogany shrubs, and broadcast seed and harrow of high-elevation forage grass mix outside of paved areas

16. How are you providing temporary irrigation to the disturbed area?

Water trucks will be used to provide temporary irrigation

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

The revegetation plan has not been reviewed with Washoe Storey Conservation District. The applicant requests that Washoe County coordinate plan review by WSCD and NRCS in the course of SUP consideration; it is our intent to promote conservation of natural resources consistent with the goals of WSCD.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
------------------------------	--	-------------------------------

Account Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

**Washoe County Parcel Information**

Parcel ID	Status	Last Update
04617024	Active	6/14/2018 2:06:31 AM
<b>Current Owner:</b> GURNEA FAMILY TRUST  3381 CHEECHAKO DR RENO, NV 89519		<b>SITUS:</b> 0 JOY LAKE RD WCTY NV
<b>Taxing District</b> 4000	<b>Geo CD:</b>	
Legal Description		
SubdivisionName _UNSPECIFIED Lot 1-1 Township 17 Range 19		

**Tax Bill (Click on desired tax year for due dates and further details)**

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
<a href="#">2017</a>	\$634.16	\$634.16	\$0.00	\$0.00	\$0.00
<a href="#">2016</a>	\$618.09	\$714.31	\$0.00	\$0.00	\$0.00
<a href="#">2015</a>	\$618.09	\$618.09	\$0.00	\$0.00	\$0.00
<a href="#">2014</a>	\$686.14	\$686.14	\$0.00	\$0.00	\$0.00
<a href="#">2013</a>	\$1,026.36	\$1,026.36	\$0.00	\$0.00	\$0.00
<b>Total</b>					<b>\$0.00</b>

**Important Payment Information**

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

**Pay Online**

**\$0.00**

**Pay By Check**

Please make checks payable to:  
**WASHOE COUNTY TREASURER**

**Mailing Address:**  
P.O. Box 30039  
Reno, NV 89520-3039

**Overnight Address:**  
1001 E. Ninth St., Ste D140  
Reno, NV 89512-2845

 **Payment Information**

 **Special Assessment District**

 **Installment Date Information**

 **Assessment Information**

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or [tax@washoecounty.us](mailto:tax@washoecounty.us)

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

Robison Engineering Company, Inc  
846 Victorian Avenue, Suite 20, Sparks, NV 89431

775-852-2251 ~ [www.robisoneng.com](http://www.robisoneng.com)



**Madole Construction**  
**Special Use Permit – APN: 046-170-24**  
-  
**TRAFFIC STATEMENT**

Dear Washoe County

The construction of the Madole Construction office building and shop will not negatively impact traffic in the surrounding area. Madole Construction is a building maintenance company specializing in the repairs and maintenance of structures. The services provided are provided offsite at the location of work. Goods and services are not sold directly from the proposed office and shop; therefore, the increase in traffic along Joy Lake Road will be from the company's employees. Madole Construction employs a total of 20 personnel. Most of the employees work in the field and meet directly at the project site. On average, 6 office staff are onsite daily. Adequate parking has been provided for onsite staff.

Traffic will be limited by the office personnel; therefore, we request that a formal Traffic Study be waived for this Special Use Permit submittal.

Please do not hesitate to contact me if you have any further questions or need further assistance.

Sincerely,  
ROBISON ENGINEERING COMPANY

Nathan Earl Robison, PE, WRS  
(775) 852-2251 x 700  
[nathan@robisoneng.com](mailto:nathan@robisoneng.com)



Robison Engineering Company, Inc  
846 Victorian Avenue, Suite 20, Sparks, NV 89431

775-852-2251 ~ [www.robisoneng.com](http://www.robisoneng.com)



**Madole Construction**  
**Special Use Permit – APN: 046-170-24**

**DIRECTOR'S MODIFICATION REQUEST CLARIFICATION**

Dear Washoe County

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We have reviewed Washoe County Development Code Section 110 and request that certain specific conditions be considered for Director's Modification, due to the unique location of the lot, as follows:

Article 412: Landscaping

- 110.412.40 Required Yards Adjoining Streets. All required yards which adjoin a public street shall be landscaped and shall include at least one (1) tree for every fifty (50) linear feet of street frontage, or fraction thereof.
  - o Requested: Client proposes to install the number of required street trees as part of the project; however, a waiver is requested to allow street trees be located near the developed area rather than along the property line abutting the ROW that will remain undisturbed and undeveloped.

Please do not hesitate to contact me if you have any further questions or need further assistance.

Sincerely,  
ROBISON ENGINEERING COMPANY

Nathan Earl Robison, PE, WRS  
(775) 852-2251 x 700  
[nathan@robisoneng.com](mailto:nathan@robisoneng.com)

# MADOLE CONSTRUCTION SPECIAL USE PERMIT APPLICATION

FOR  
**MADOLE CONSTRUCTION**  
305 US HIGHWAY 395  
WASHOE VALLEY, NV 89704

PROJECT COORDINATOR: RAY MADOLE  
(775) 843-4548

## ABBREVIATIONS

AC	ASPHALT CONCRETE
BC/BOC	BACK OF CURB
BFP	BACKFLOW PREVENTER
BLD	BUILDING
BW	BASE OF WALL
CATV	CABLE TELEVISION
CL	CENTERLINE
COTG	CLEAN OUT TO GRADE
DW	DRIVEWAY
E	ELECTRICAL
(E)	EXISTING
EL.ELEV	ELEVATION (ABOVE MEAN SEA LEVEL U.N.O.)
FC	FENCE CORNER
FG	FINISHED GRADE
FFE	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
FL	DRAINAGE FLOWLINE
FLA	FLANGED (PIPE FITTING)
G	GROUND (ELEV.)
HDPE	HIGH-DENSITY POLYETHYLENE
HP	HIGH POINT
HVAC	HEATING, VENTILATION & AIR CONDITIONING
I, INV	INVERT (IES-INVERT ELEV.)
IV	IRRIGATION VALVE
LP	LIGHT POLE
MH	MANHOLE
MJ	MECHANICAL JOINT (PIPE FITTING)
(N)	NEW/PROPOSED
PCC	PORTLAND CEMENT CONCRETE
PP	POWERTELEPHONE POLE
PRV	PRESSURE RELIEF VALVE
PUE	PUBLIC UTILITY EASEMENT
R	RADIUS OF ARC OR CIRCLE
R/W, ROW	RIGHT-OF-WAY
SFNF	(MONUMENT) SEARCHED FOR, NOT FOUND
SD	STORM DRAIN
SS	SANITARY SEWER
TC/TCC	TOP OF CURB (@ BOC U.N.O.)
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK
TW	TOP OF WALL
U.N.O.	UNLESS NOTED OTHERWISE
WWL	WATER/WATER LINE

0 JOY LAKE RD  
Madole Shop  
SHEET T1  
TITLE SHEET  
PROJECT NO. 1:14-06-001  
NEVADA

PREPARED FOR:  
**MADOLE CONSTRUCTION**  
305 US 395  
Washoe Valley, NV 89704  
(775) 737-4414

**Robison Engineering**  
1115 W. WASHOE AVENUE  
SPARKS, NV 89431  
WWW.ROBISONENG.COM  
DRAWN: ESH  
DATE: 2018-06-14

NO	0
REVISIONS	
SHEET	
<b>T1</b>	

### PROJECT SUMMARY

LAND  
APN 046-170-24  
ASSESSOR'S MAP #046-17  
CONTAINING 5.6 ACRES

LAND USE: 140  
ZONING: GC

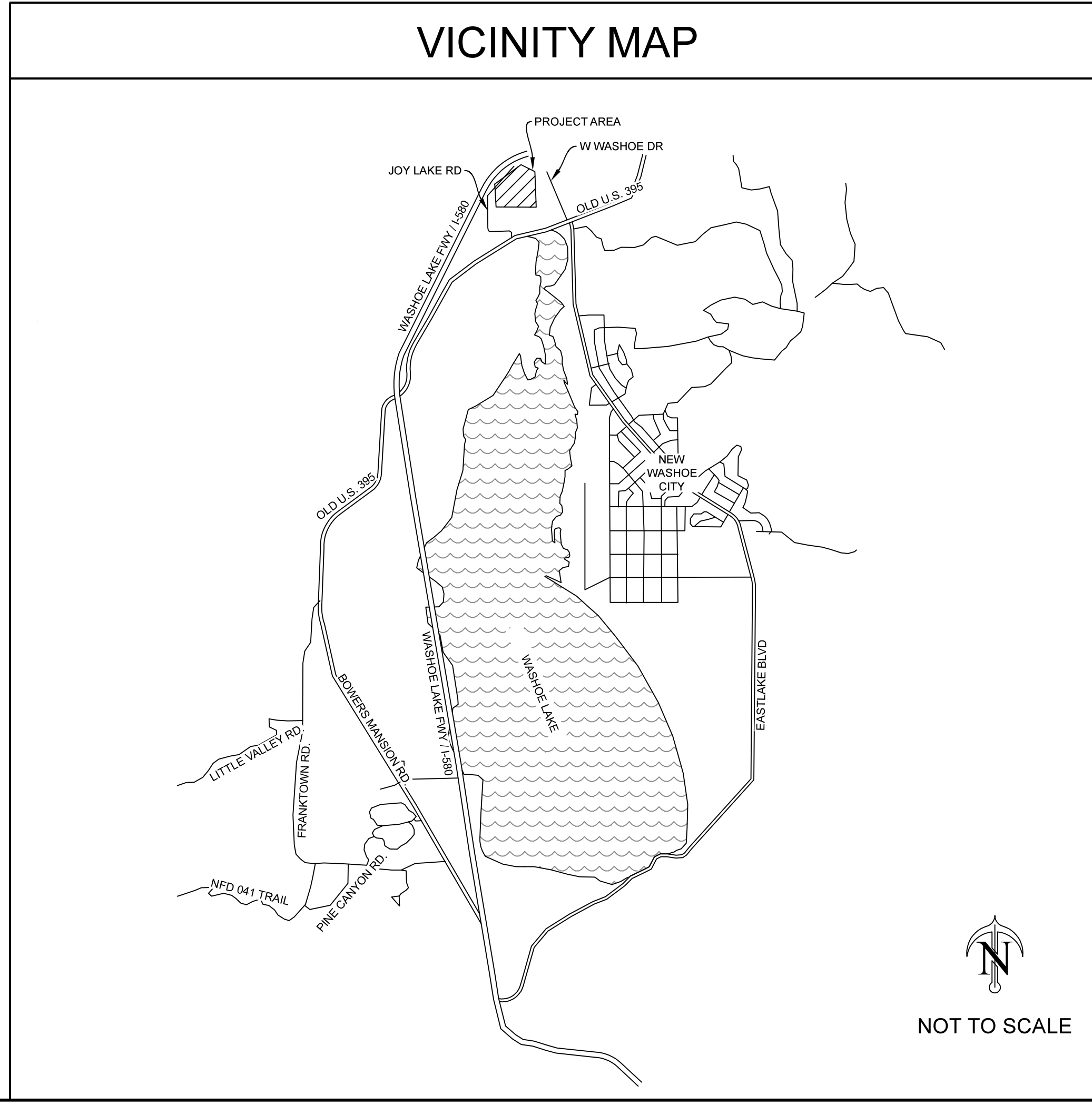
PROJECT  
CIVIL IMPROVEMENTS TO ACCOMPANY CONSTRUCTION OF NEW OFFICE.

### SHEET LIST

GENERAL	TITLE SHEET
T1	TITLE SHEET
CIVIL	
C0	EXISTING CONDITIONS PLAN
C1	CIVIL SITE PLAN
C2	GRADING AND SEPTIC PLAN
C3	UTILITY PLAN
C4	SLOPE ANALYSIS
L1	PRELIMINARY LANDSCAPING PLAN
P1	PHOTOMETRICS PLAN

### PROJECT AUTHORITY

OWNER	APPLICANT	CIVIL ENGINEER	SURVEYOR
GURNEA FAMILY TRUST ROBERT GURNEA 3381 CHEECHAKO DRIVE RENO, NV 89519 CELL: (775) 690-4788 robert@gurneaconstruction.com	MADOLE CONSTRUCTION RAY MADOLE 305 US 395 WASHOE VALLEY, NV 89704 CELL: (775) 843-4548 OFFICE: (775) 737-4414 ray@madoleconstruction.com	ROBISON ENGINEERING COMPANY, INC. DAN KELSEY, PLS 846 VICTORIAN AVE, STE 20 SPARKS, NV 89431 (775) 852-2251 x 700 (775) 852-9736 fax nathan@robisoneng.com	ROBISON ENGINEERING COMPANY, INC. DAN KELSEY, PLS 846 VICTORIAN AVE, STE 20 SPARKS, NV 89431 (775) 852-2251 x 700 (775) 852-9736 fax dan@robisoneng.com



### NOTES

**GENERAL NOTE:**

THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE BELIEVED TO BE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, CITY ORDINANCES, AND/OR COUNTY STANDARDS. IN THE EVENT OF A CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND CITY STANDARDS PROMPTLY NOTIFY ENGINEER. THE COUNTY STANDARDS SHALL APPLY. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

IF THE CONTRACTOR(S) OBSERVES ANY CONDITION ON THE SITE WHICH CONFLICTS WITH THE INFORMATION SHOWN HEREON, THEY SHALL CONTACT ROBISON ENGINEERING AT 775-852-2251 FOR RESOLUTION.

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER.

OBTAIN LATEST ELECTRONIC FILE FROM ROBISON ENGINEERING COMPANY PRIOR TO STAKING AND CONSTRUCTION.

**EROSION CONTROL NOTES**

1. TOTAL DISTURBANCE AREA IS EXPECTED TO EXCEED 1 ACRE, THEREFORE A SITE-SPECIFIC STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS NOT ANTICIPATED TO BE REQUIRED. THE CONTRACTOR SHALL BE AWARE OF AND EXERCISE DUE EFFORT TO CONFORM TO AT LEAST:

- THE STATE OF NEVADA GENERAL PERMIT NVR100000
- THE "TRUCKEE MEADOWS HANDBOOK"
- WASHOE COUNTY STORMWATER PROTECTION ORDINANCES AND STANDARDS.

2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY AND THE TRUCKEE MEADOWS CONSTRUCTION SITES BEST MANAGEMENT PRACTICES HANDBOOK.

**UTILITY NOTES**

1. UTILITY INSTALLATION SHALL CONFORM TO STANDARDS ESTABLISHED BY THE UTILITY PROVIDER(S), INCLUDING TRENCHING DEPTH, FILL MATERIAL, LOCATION MARKERS, ETC. ELECTRIC, CABLE TELEVISION, AND TELEPHONE SERVICE MAY SHARE COMMON TRENCH. CABLE AND TELEPHONE MAY SHARE COMMON CONDUIT OR BE DIRECTLY BURIED. ELECTRIC SERVICE SHALL BE VIA A 1" (MINIMUM) CONDUIT PLACED BY ELECTRICIAN, WITH PULL-BOX TO GRADE AT ANGLE POINTS. WATER SERVICE BURIAL SHALL BE NO LESS THAN 3'; AND A WIRE FOR LOCATION SHALL BE PROVIDED. GAS MUST BE AT LEAST 30" FROM ELECTRIC, TELEPHONE, OR CABLE SERVICE. WATER AND GAS MAY SHARE COMMON TRENCH, WITH GAS LINE INSTALLED AT LEAST 12" ABOVE WATER LINE, AND CLEARLY MARKED BY "BURIED UTILITY" TAPE 12" ABOVE TOP OF GAS PIPE.

**PROJECT NOTES**

1. ALL CONSTRUCTION NOT OTHERWISE DETAILED OR SPECIFIED SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ADOPTED BY WASHOE COUNTY.

2. ALL DIMENSIONS ARE FROM FACE OF CURB OR OTHER FINISHED CONCRETE OR PERMANENT FEATURE FACE IN THE DIRECTION OF THE DIMENSION SHOWN.

3. IT IS THE INTENT OF THESE SPECIFICATIONS AND IMPROVEMENT PLANS THAT THE WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION. IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR RESOLUTION.

4. SUBMITTALS: SUBMITTALS, INCLUDING SHOP DRAWINGS, MANUFACTURER'S DATA SHEETS, MATERIAL AND COLOR SAMPLES, AND DELIVERED MATERIALS OR PRODUCTS (ROOFING, ETC.), WITHOUT EXCEPTION, SHALL BE OFFERED FOR REVIEW AND APPROVAL TO OWNER PRIOR TO THEIR INCORPORATION INTO THE PROJECT, WHERE QUANTITATIVE JUDGEMENT IS REQUIRED (E.G. MATERIALS WITH SPECIFIED STRENGTH, WEIGHT, LONGEVITY, CLASSIFICATION, ETC.) THESE MATERIALS' SPECIFICATIONS SHALL BE PROVIDED TO THE PROFESSIONAL AUTHORITY (E.G. PLUMBING, CIVIL ENGINEER, ETC.) RESPONSIBLE FOR THEIR SUITABILITY FOR THE SPECIFIED USE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL CONSTRUCTION MATERIALS SPILLED ON PAVED STREETS, ONSITE AND OFFSITE.

6. THE CONTRACTOR SHALL PURSUE THE WORK IN A CONTINUOUS AND DILIGENT MANNER CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS, TO ENSURE A TIMELY COMPLETION OF THE PROJECT.

7. THE CONTRACTOR SHALL NOTIFY ALL ENTITIES INVOLVED (PUBLIC AND PRIVATE) 48 HOURS PRIOR TO BEGINNING CONSTRUCTION AND PROVIDE 48 HOURS PRIOR NOTICE FOR ALL SURVEYING AND INSPECTIONS DURING CONSTRUCTION.

8. CONTRACTOR TO PROVIDE ALL NECESSARY TRAFFIC CONTROL, MAINTAIN ACCESS TO ALL PARCELS, PROVIDE ALL TEMPORARY AND/OR PERMANENT PATCHING AS REQUIRED BY GOVERNING AGENCY ALL CONSTRUCTION SIGNING, BARRICADES AND TRAFFIC DELINEATION TO CONFORM TO THE STATE OF NEVADA, DEPARTMENT OF TRANSPORTATION, "NEVADA WORK ZONE TRAFFIC CONTROL MANUAL" (LATEST EDITION).

9. THE WORK IN THIS CONTRACT INCLUDES ALL ONSITE AND OFFSITE WORK SHOWN ON THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED.

10. THE CONTRACTOR SHALL, AT ALL TIMES DURING CONSTRUCTION, PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE, INCLUDING, BUT NOT LIMITED TO, PAVEMENT, CURB & GUTTER, SIDEWALK, LANDSCAPING, SIGNAGE, STORM & SANITARY SEWERS, AND ALL UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR OF ANY IMPROVEMENTS (EXISTING OR PROPOSED) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.

11. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES EMERGENCY ACCESS TO THE PROJECT SITE TO THE SATISFACTION OF THE FIRE CONTROL AGENCY.

12. ALL QUANTITIES SUPPLIED WITH THESE PLANS ARE APPROXIMATE AND USED FOR PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT QUANTITY TAKE-OFFS FOR BIDDING AND CONSTRUCTION PURPOSES.

**GRADING NOTES**

1. ALL EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE WASHOE COUNTY STANDARDS.

2. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND MAINTAIN CONFORMITY WITH SECTION 40.030 OF WASHOE COUNTY AIR POLLUTION PROVISIONS.

3. ELEVATIONS SHOWN ARE TOP OF CURB WHEN LOCATED AT THE CURB LINE, OR FINISH GRADE WHEN LOCATED AT STREET CENTERLINE OR WITHIN A LOT OR NOTED OTHERWISE ON THE PLANS.

4. FINISH GRADE REPRESENTS THE ELEVATION OF THE FINISHED SURFACE. IF LOCATED IN A LOT OR COMMON AREA, THE GRADE REPRESENTS THE FINAL SURFACE. IF TOP SOIL IS TO BE PLACED, THE CONTRACTOR SHALL ADJUST THE GRADE SHOWN. IF SHOWN AT CENTERLINE, THE GRADE REPRESENTS THE FINISHED SURFACE GRADE OF THE AC. IF SHOWN AT A BUILDING PAD, THE GRADE REPRESENTS THE FINISHED GRADE AROUND THE EXTERIOR OF THE HOUSE, INCLUDING LANDSCAPING TREATMENTS. COORDINATE WITH ARCHITECT AND STRUCTURAL FOR BUILDING AREA SUBGRADE(S).

5. ALL NATURAL VEGETATION OUTSIDE OF DISTURBANCE LIMITS TO BE PRESERVED; ADDITIONAL DISTURBANCE NOT PART OF PLANNING LANDSCAPING SHALL BE STABILIZED AND BROADCAST AND RAKED DURING OCTOBER-NOVEMBER, OR HYDROSEEDED IN COORDINATION WITH, AND SUBJECT TO APPROVAL BY PROPERTY OWNER.

6. USE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES AND EXISTING ROADS.

7. SEE EROSION CONTROL NOTES FOR STORMWATER DISCHARGE PERMIT REQUIREMENTS.

8. THE CONTRACTOR SHALL NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND ONLY AFTER A PRE-CONSTRUCTION MEETING BETWEEN OWNER, ENGINEER OF RECORD, MATERIALS TESTING LABORATORY, AND GENERAL CONTRACTOR HAS OCCURRED.

9. THE INSPECTION AND TESTING OF SOILS AND ALL OTHER MATERIALS SHALL BE IN CONFORMANCE WITH WASHOE COUNTY ORANGE BOOK STANDARDS AND SITE SPECIFIC SOILS REPORT AS APPLICABLE.

10. SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION DEPARTMENT SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE DETERMINED BY CONSULTATION WITH THE APPROPRIATE JURISDICTION.

**TOPOGRAPHIC MAP NOTES:**

1) THIS MAP IS PREPARED TO ILLUSTRATE TOPOGRAPHY AND FEATURES FOR ARCHITECTURAL AND ENGINEERING PLANNING AND DESIGN ONLY. NO INFORMATION SHALL BE CONSTRUED TO REPRESENT A FORMAL SURVEY OF THE SUBJECT PROPERTY, OR TO RENDER ANY OPINION THEREON. PROPERTY BOUNDARIES SHOWN ARE FROM DRAWING PROVIDED BY CLIENT AND HAVE NOT BEEN VERIFIED BY SURVEY.

2) BASIS OF BEARINGS: NEVADA STATE PLANE, WEST ZONE, NAD83, GROUND COORDINATES, PER WASHOE COUNTY VRS GPS CONTROL NETWORK, GROUND FACTOR 1.000197939.

3) BASIS OF ELEVATIONS: NAVD 88 PER WASHOE COUNTY VRS.



**MERGED IMAGERY NOTE:**  
 BACKGROUND IMAGE FROM PUBLIC SOURCE MAY NOT MEET MAP ACCURACY STANDARDS OUTSIDE OF SURVEY AREA

**PROPERTY NOTES:**  
 THIS MAP SHALL BE CONSTRUED TO REPRESENT A FORMAL SURVEY OR TO RENDER ANY OPINION THEREON.

PHOTO DATE: MAY 11, 2018  
 GROUND SAMPLE DISTANCE: 1.01 INCH  
 GROUND SURVEY: S31SM01018  
 COMPILED BY: R.SIGLER

BASIS OF BEARINGS: NV WEST, NAD83  
 VERTICAL DATUM: NAVD 88  
 BENCHMARK: FILL IN  
 SECTION: 23 TWN: 17 RANG: 19 MDM

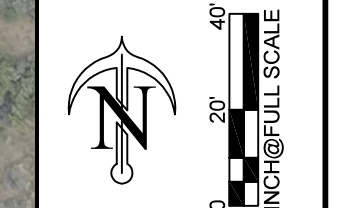
**Robison -UAS-**  
 846 VICTORIAN AVENUE  
 SPARKS, NV 89431  
 www.robisoneng.com

CLIENT: MADOLE  
 PROJECT NAME: WASHOE SHOP  
 RENG PROJECT #: 1-1149-06.001

NOTE: GROUND SAMPLING DISTANCE (GSD) IS AVERAGE PIXEL SIZE OF DATA CAPTURE. HORIZONTAL ACCURACY ±2-3M AND VERTICAL ACCURACY ±3-6M. MAP ACCURACY IS 1/2 CONTOUR INTERVAL EXCEPT IN OBSCURED AREAS.

WASHOE COUNTY  
 NEVADA

0 JOY LAKE RD  
 Madole Shop  
 SHEET C0  
 EXISTING CONDITIONS PLAN  
 WASHOE COUNTY NEVADA  
 PROJECT NO. 1-1149-06.001



PREPARED FOR:  
**MADOLE CONSTRUCTION**  
 305 US 395  
 Washoe Valley, NV 89704  
 (775) 737-4414

**Robison Engineering**  
 846 VICTORIAN AVENUE  
 SPARKS, NV 89431  
 www.robisoneng.com

DRAWN: ESH  
 DATE: 2018-06-14

NO	DESCRIPTION	DATE	BY	CHKD	REVISIONS
1					
2					
3					
4					
5					
6					

NO	DESCRIPTION	DATE	BY	CHKD	REVISIONS
0	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14			

SHEET  
**C0**



**LEGEND**

- PROPERTY BOUNDARY
- - - SETBACK
- EXISTING FENCE
- W - EXISTING WATER LINE
- █ PCC PAVEMENT
- - - SAWCUT
- EDGE OF PAVEMENT

**SITE PLAN NOTES**

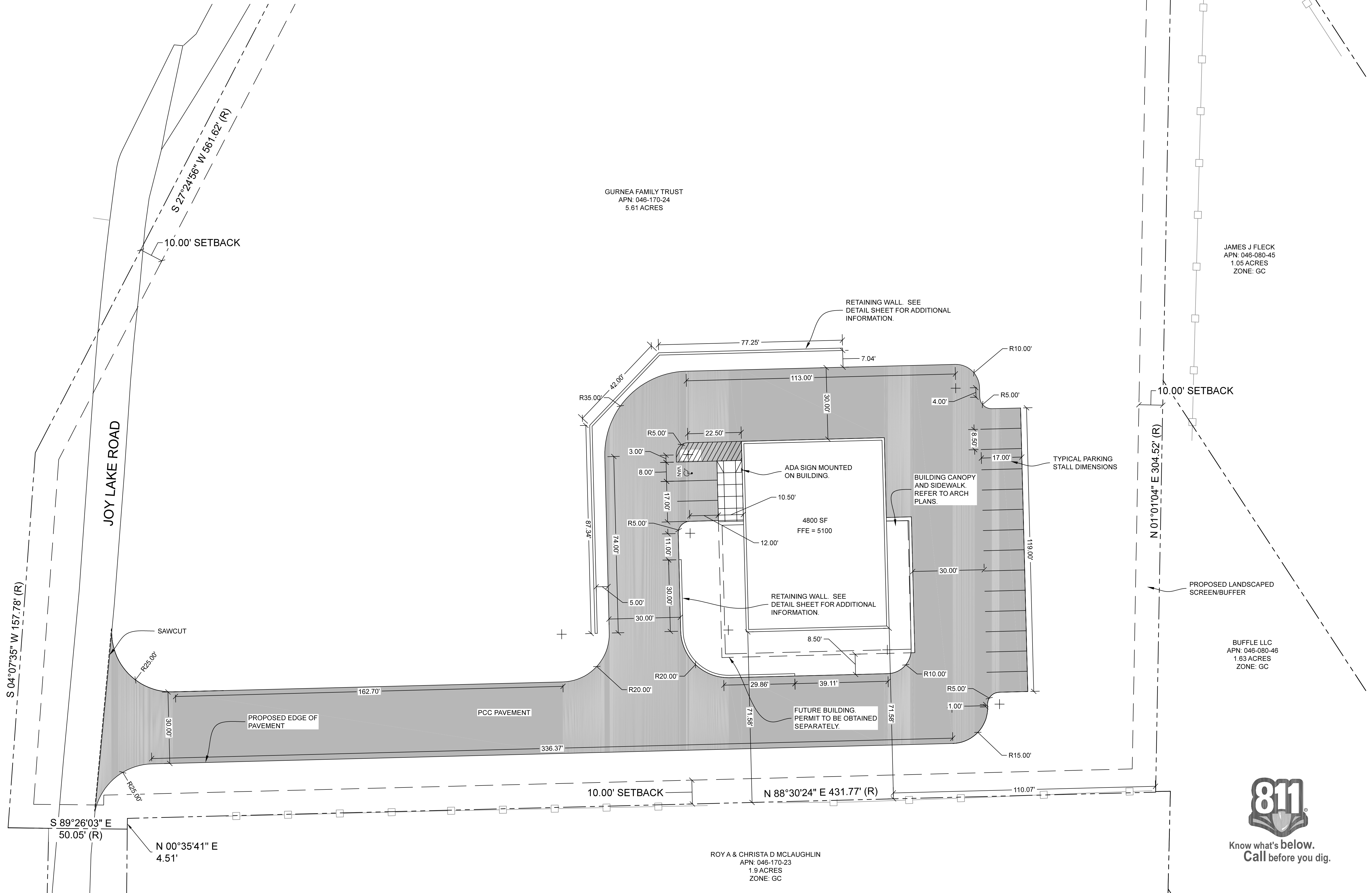
- S1. FOR CONSTRUCTION BEYOND PROPERTY BOUNDARY, OBTAIN WRITTEN PERMISSION FROM CLIENT AND/OR ADJACENT PROPERTY OWNER PRIOR TO WORK.
- S2. MAX CUT OR FILL= 3:1 W/O SLOPE PROTECTION. ALL SLOPES TO BEGIN A MINIMUM OF ONE FOOT BEHIND CURB.
- S3. SEE SHEET C3 FOR EXISTING AND PROPOSED WATER, SEWER, AND ELECTRIC SERVICE LINES.
- S4. EXISTING ESTABLISHED TREES ARE LOCATED ON THE SUBJECT PARCEL AND SHALL BE PROTECTED DURING CONSTRUCTION.

- S5. NO AREAS OF 15% OR MORE SLOPES TO BE LOCATED IN DEVELOPED SITE, EXCEPT DRAINAGE DITCHES.
- S6. ALL PARKING LOT STRIPING SHALL BE WHITE, 4" THICK, 2 COATS MINIMUM, U.N.O.
- S7. ALL RADII ARE 3' U.N.O.
- S8. INSTALL ACCESSIBLE PARKING SIGN & PAINTED HANDICAP SYMBOL PER NRS 484 & ADA STANDARDS. TYPICAL @ ALL SPACES MARKED HANDICAP.
- S9. ALL DIMENSIONS ARE SHOWN TO THE FACE OF CURB U.N.O.
- S10. ALL STANDARD PARKING SPACES SHALL BE 8.5' WIDE X 17' DEEP MINIMUM. SEE TYPICAL PARKING STALL DIMENSIONS THIS SHEET FOR ADDITIONAL INFORMATION.
- S11. REFER TO GENERAL NOTES & EROSION CONTROL PLAN FOR BMP IMPLEMENTATION.

- S12. FLOOD HAZARD  
- FIRM PANEL: 32031C33350G  
- FLOOD ZONE: UNSHADED ZONE "X"
- S13. FAULT LOCATIONS TO BE DETERMINED UNDER FINAL GEOTECHNICAL EVALUATION
- S14. AREAS DESIGNATED AS FIRE LANES SHALL BE MARKED WITH A RED CURB AND WHITE, STENCILED LETTERING READING "NO PARKING - FIRE LANE" IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- S15. ALL DIMENSIONS SHOWN TO THE BUILDING CORNERS ARE PERPENDICULAR TO THE PROPERTY LINE.
- S16. REFER TO PHOTOMETRICS PLAN FOR SITE LIGHTING LAYOUT.

PARKING ANALYSIS	SQUARE FEET	# OF EMPLOYEES	SPACES REQUIRED	SPACES PROVIDED
A ADMINISTRATIVE OFFICES	1590		7	7
B EQUIP. REPAIR/STORAGE OF OPERABLE VEHICLES			10	10
<b>TOTAL</b>		<b>10*</b>	<b>17</b>	<b>17</b>
ADA			1	1

\*NUMBER OF EMPLOYEES DURING PEAK EMPLOYMENT SHIFT



0 JOY LAKE RD  
**Madole Shop**

SHEET C1  
CIVIL SITE PLAN  
WASHOE COUNTY  
PROJECT NO. 1-14-06-001  
NEVADA

N  
1" = 20'  
0 10' 20'  
INCHES@FULL SCALE

PREPARED FOR:  
**MADOLE CONSTRUCTION**  
305 US 395  
Washoe Valley, NV 89704  
(775) 737-4414

**Robison Engineering**  
10000 W. WASHINGTON AVENUE  
SUITE 100  
WASHOE VALLEY, NV 89704  
775-737-4414  
www.robisoneng.com  
DRAWN: ESH  
DATE: 2018-06-14

NO	DESCRIPTION	DATE	BY	CHK'D	REVISIONS
1	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14			

811  
Know what's below.  
Call before you dig.

ROY A & CHRISTA D MCLAUGHLIN  
APN: 046-170-23  
1.9 ACRES  
ZONE: GC

**C1**

**GRADING NOTES**

1. THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND MAINTAIN CONFORMITY WITH LOCAL AIR POLLUTION PROVISIONS.
2. MINIMUM FINISHED GRADING REQUIREMENTS: GRADING SHALL NOT DIVERT RUNOFF TOWARDS OR OTHERWISE IMPACT ADJACENT PARCELS. GRADING SHALL NOT CONCENTRATE SURFACE RUNOFF LEADING TO EROSION FLOW.
3. ALL NATURAL VEGETATION OUTSIDE OF DISTURBANCE LIMITS TO BE PRESERVED. ADDITIONAL DISTURBANCE NOT PART OF PLANNING LANDSCAPING SHALL BE STABILIZED AND BROADCAST AND RAKED DURING OCTOBER-NOVEMBER, OR HYDROSEEDING IN COORDINATION WITH, AND SUBJECT TO APPROVAL BY PROPERTY OWNER.
4. USE EXTREME CARE IN WORKING IN AREAS OUTSIDE THE PROJECT BOUNDARY SO AS TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT FINAL SURFACES ARE FIRM AND EXHIBIT NO SIGNS OF DEFLECTION.
6. GROUNDWATER IS NOT EXPECTED TO BE ENCOUNTERED DURING GRADING ACTIVITIES. IN THE EVENT THAT GROUNDWATER IS ENCOUNTERED, CONTRACTOR SHALL DEWATER AND DISCHARGE ONSITE IN ACCORDANCE WITH LOCAL AND STATE REGULATIONS.

**LABEL NOTES**

1. CONSTRUCT RC PAVEMENT DETAIL C1.1, SHT D1
2. CONSTRUCT 12" DIAMETER HDPE CULVERT PER DETAIL C1.2, SHT D1
3. CONSTRUCT DRAINAGE INLET PER DETAIL C1.4, SHT D1
4. CONSTRUCT HEADWALL PER DETAIL C1.6, SHT D2
5. CONSTRUCT MASONRY RETAINING WALL PER DETAIL C1.7, SHT D2

**LEGEND**

- PROPERTY BOUNDARY
- SETBACK
- 5100 PROPOSED CONTOURS
- 5100 EXISTING CONTOURS

**APPROXIMATE EARTHWORK BANK QUANTITIES:**

TOTAL:  
 FILL: 1,370 CY  
 CUT: 2,770 CY  
 EXPORT: 1,400 CY  
 AREA DISTURBED: 1.27 ACRES  
 UNDER PAVEMENT AND BLDG  
 FILL: 900 CY  
 CUT: 1,800 CY  
 AREA: 0.73 ACRES



0 JOY LAKE RD  
 Madole Shop  
 SHEET C2  
 GRADING AND SEPTIC PLAN  
 WASHOE COUNTY  
 PROJECT NO. 11-14-06-001

PREPARED FOR:  
**MADOLE CONSTRUCTION**  
 305 US 395  
 Washoe Valley, NV 89704  
 (775) 737-4414

DATE: 2018-06-14

0 10' 20'  
 INCHES@FULL SCALE

NO	DESCRIPTION	DATE	BY	CHKD	REVISIONS
1	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14			
2					
3					
4					
5					
6					

SHEET  
**C2**



**LEGEND**

- PROPERTY BOUNDARY
- - - - - SETBACK
- +—+—+— PROPOSED SANITARY SEWER
- |—|—|— PROPOSED WATER
- E—E—E— PROPOSED OVERHEAD ELECTRIC

**UTILITY NOTES**

1. UTILITY INSTALLATION SHALL CONFORM TO STANDARDS ESTABLISHED BY THE UTILITY PROVIDER(S), INCLUDING TRENCHING DEPTH, FILL MATERIAL, LOCATION MARKERS, ETC.
2. THE LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON HAS BEEN DETERMINED FROM SURFACE EVIDENCE OF THEIR EXISTENCE OR FROM INFORMATION OBTAINED FROM THE UTILITY COMPANIES. THE ENGINEER ACCEPTS NO LIABILITY FOR THE EXISTENCE OR NON-EXISTENCE OF UTILITY LINES. CONTRACTORS AND OTHERS USING THIS MAP MUST CONFIRM THE LOCATION OF UNDERGROUND LINES OR STRUCTURES FROM THE UTILITY COMPANIES PRIOR TO COMMENCING ANY EXCAVATION OR ORDERING OF MATERIALS.
3. THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
4. CONTACT "USA NORTH 811" BY CALLING THAT NUMBER (8-1-1) NO LESS THAN 2 WORKING DAYS BEFORE EXCAVATION IS PROPOSED TO BEGIN.
5. COORDINATE WITH OWNER, ENGINEERS, CONSULTANTS, UTILITY COMPANIES PRIOR TO, DURING & AFTER CONSTRUCTION FOR ACTUAL CONSTRUCTION / INSTALLATION STANDARDS & CLARIFICATION.
6. CONTRACTOR SHALL MAINTAIN 18" VERTICAL AND 10' HORIZONTAL MINIMUM SEPARATION BETWEEN ALL WATER AND SEWER LINES.
7. CONTRACTOR SHALL COORDINATE UTILITY CONNECTIONS WITH AUTHORITY HAVING JURISDICTION.
8. CONTRACTOR SHALL NOT CONNECT TO AN EXISTING SERVICE OR DISRUPT ANY EXISTING SERVICE WITHOUT THE PERMISSION OF THE AUTHORITY HAVING JURISDICTION.
9. ALL ELECTRIC LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE NV ENERGY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL COORDINATE WITH NV ENERGY PRIOR TO INSTALLATION.
10. ALL WATER LINES SHALL BE INSTALLED IN ACCORDANCE WITH TMWA STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL COORDINATE WITH TMWA PRIOR TO INSTALLATION.



Know what's below.  
Call before you dig.

<b>PREPARED FOR:</b> <b>MADDOLE CONSTRUCTION</b> 305 US 305 Washoe Valley, NV 89704 (775) 737-4414 DATE: 2018-06-14					
<b>PROJECT:</b> 0 JOY LAKE RD Madole Shop SHEET C3 UTILITY PLAN WASHOE COUNTY NEVADA PROJECT NO. 1-14-06-001					
NO	DESCRIPTION	DATE	BY	CHKD	REFERENCES
0	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14			
REVISIONS SHEET <b>C3</b>					

# SLOPE ANALYSIS

Slope Report Thu May 24 10:51:40 2018

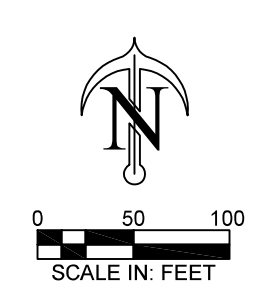
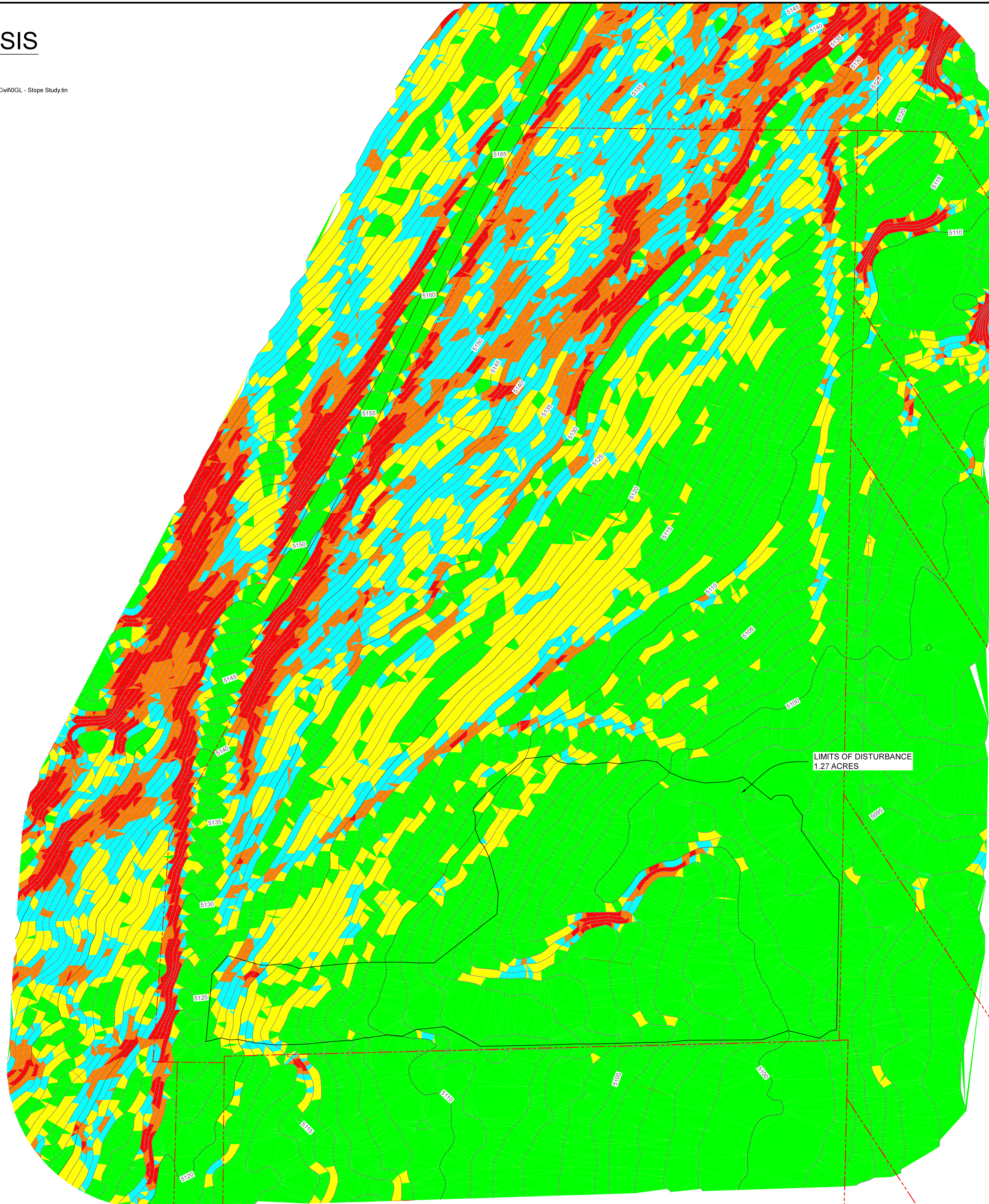
Surface File: P:\Madole Construction\_114906.001\_Washoe Valley Shop\8\_DWG\Civil\NGL - Slope Study.tin

Average Slope: 14.6%

Minimum Slope: 0.0%








Maximum Slope: 20942.4%

Zone	Range	Area S.F.	Acres	Slope Surface Area S.F.	Acres	% of Average	Total Slope %
1	15.00%	269,542.0	6.188	270,587.7	6.212	55.5	7.8
2	20.00%	83,996.2	1.928	85,270.2	1.958	17.3	17.4
3	25.00%	65,210.7	1.497	66,827.8	1.534	13.4	22.4
4	30.00%	37,142.8	0.853	38,499.2	0.884	7.6	27.2
5	30.00%	30,036.4	0.690	32,017.6	0.735	6.2	36.0
Total		485,928.1	11.155	493,202.5	11.322		



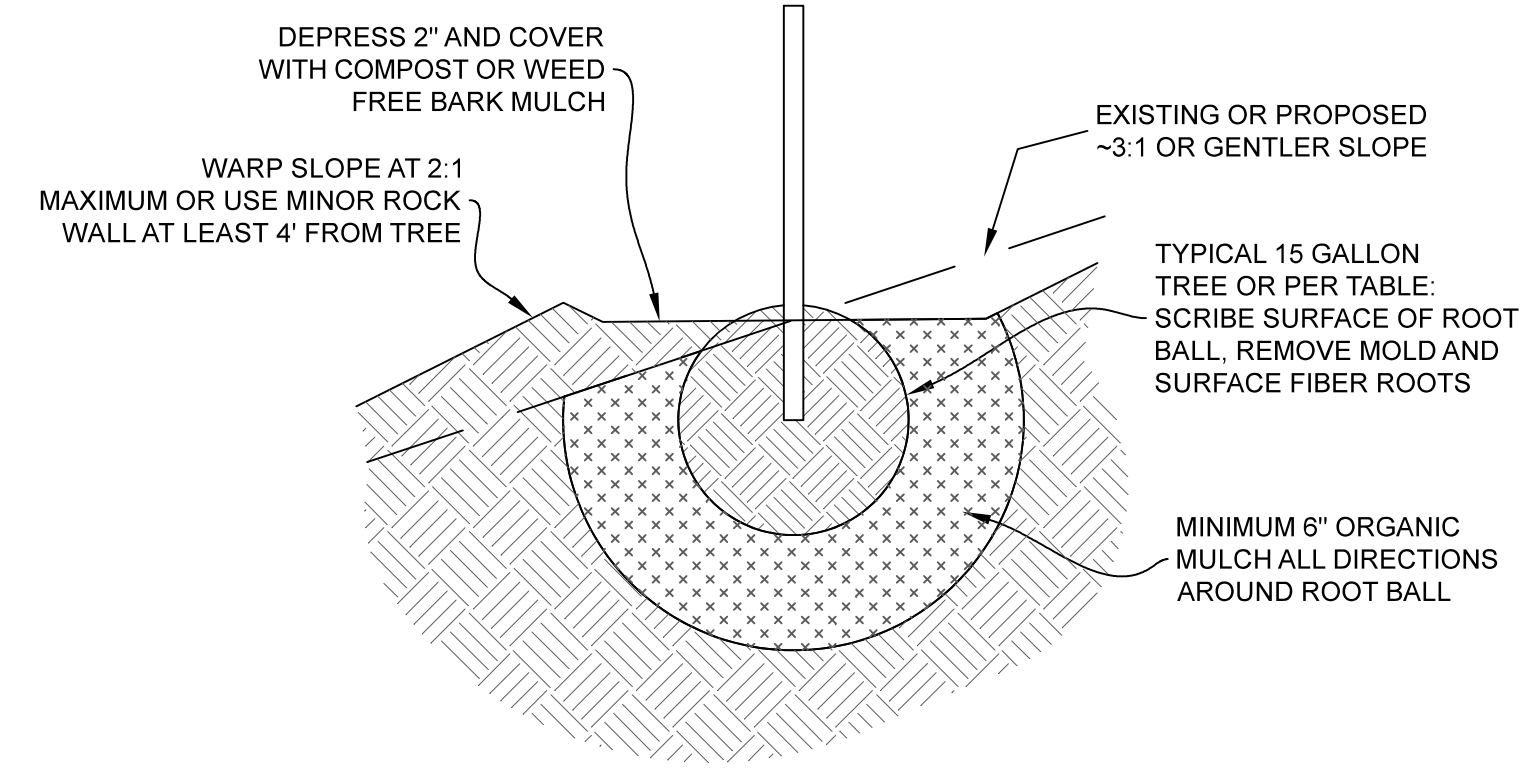
		PREPARED FOR: <b>MADOLE CONSTRUCTION</b> 305 US 395 Washoe Valley, NV 89704 (775) 737-4414		PROJECT NO: 114906.001 NEVADA	
DATE: 2018-06-14		DRAWN: ESH		SHEET C3 SLOPE ANALYSIS WASHOE COUNTY	
DESCRIPTION FOR WASHOE COUNTY SPECIAL USE PERMIT		DATE 2018-06-14		BY CHKD: NER EHR: NER	
NO. 0		REVISIONS		SHEET <b>C3</b>	
REFERENCES		1		2	
3		4		5	
6		7		8	

# LANDSCAPING LEGEND

-  COLUMNAR SHADE TREE (COL. NORWAY MAPLE, GREEN PILLAR OAK, CORINTHIAN LINDEN, OR SIM. TO COMPLEMENT ADJACENT RESIDENCES)  
2 ea
-  EVERGREEN (INCENSE CEDAR SPECIMEN, JACK PINE, PINION, OR SIM.)  
6 ea
-  SMALL MAPLE (AMUR, SHANTUNG), SMOKE TREE, OR SIM.  
3 ea
-  FLOWERING TREE (PEAR, MIN. 2x CRABAPPLE, TULIP TREE, OR SIM.)  
4 ea
-  VAR. SHRUBS: MINIMUM TREE/SHRUB RATIO PER WASHOE COUNTY REQ. ± 21 ea
-  DRYLAND GRASS & WILDFLOWER STABILIZING GROUNDCOVER  
8300 SF
-  IRRIGATION PIPING AND MAJOR CONTROL VALVES

LANDSCAPE SUMMARY	REQUIRED	PROVIDED	UNITS
A TOTAL NUMBER OF INTERNAL TREES	2	2	TREES
TOTAL NUMBER OF STREET TREES	19	19*	TREES
TOTAL NUMBER OF SHRUBS	4	21	SHRUBS
B TOTAL OPEN SPACE	-	80	%
C TOTAL OPEN SPACE	-	4.47	ACRES
D TOTAL GREEN SPACE	20 (OF DEV.)	27	%
E TOTAL GREEN SPACE	0.23	0.40	ACRES

\*1 STREET TREE IS REQUIRED PER 50' OF STREET FRONTAGE (952/50' = 19 TREES). DUE TO THE LOCATION OF THE SITE AND THE PROPOSED DEVELOPMENT, A DIRECTOR'S MODIFICATION IS REQUESTED TO ALLOW THE STREET TREES BE PLANTED WITHIN CLOSE PROXIMITY TO THE DEVELOPMENT.

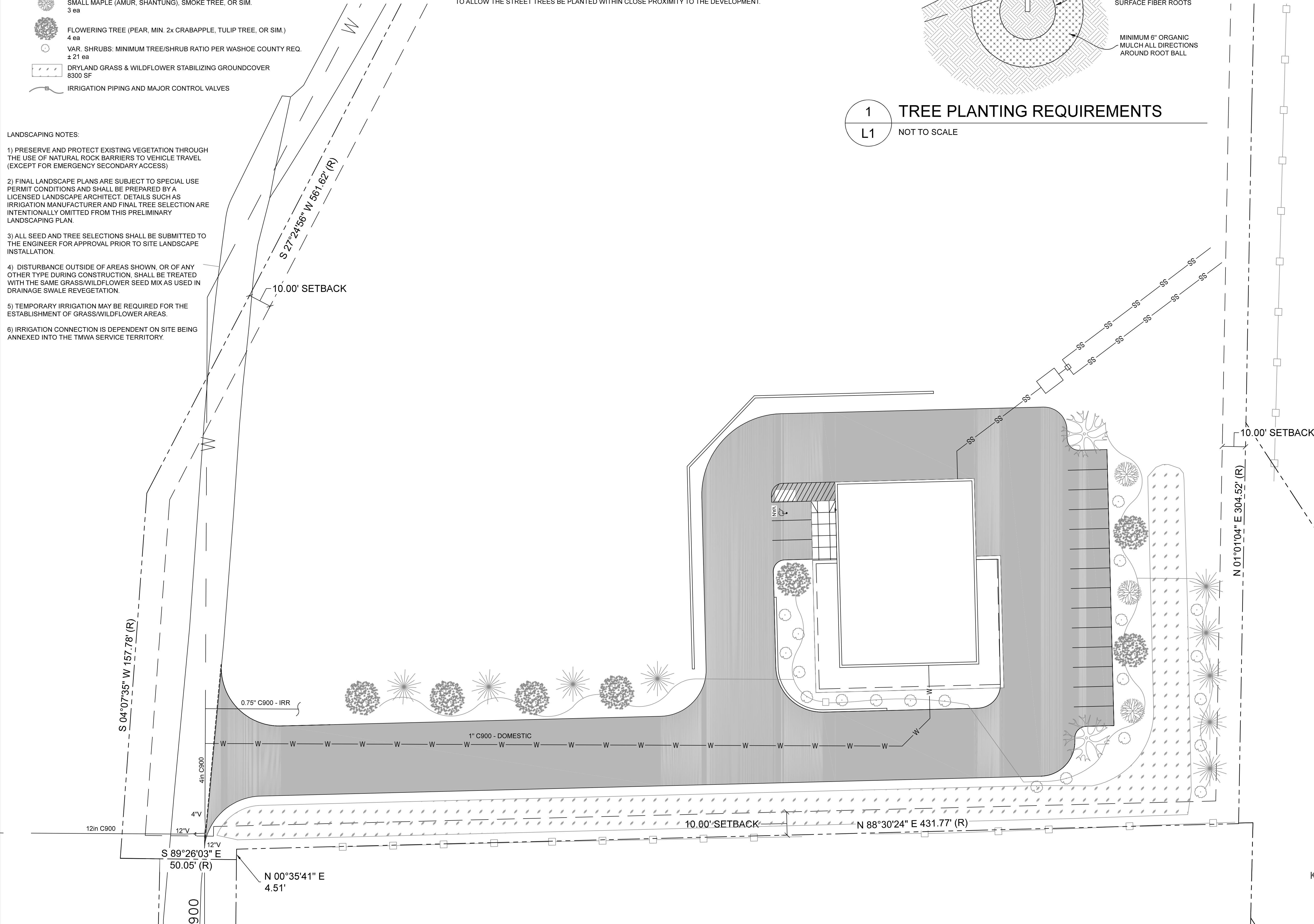


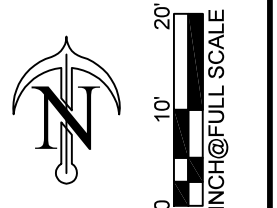
## 1 TREE PLANTING REQUIREMENTS

L1 NOT TO SCALE

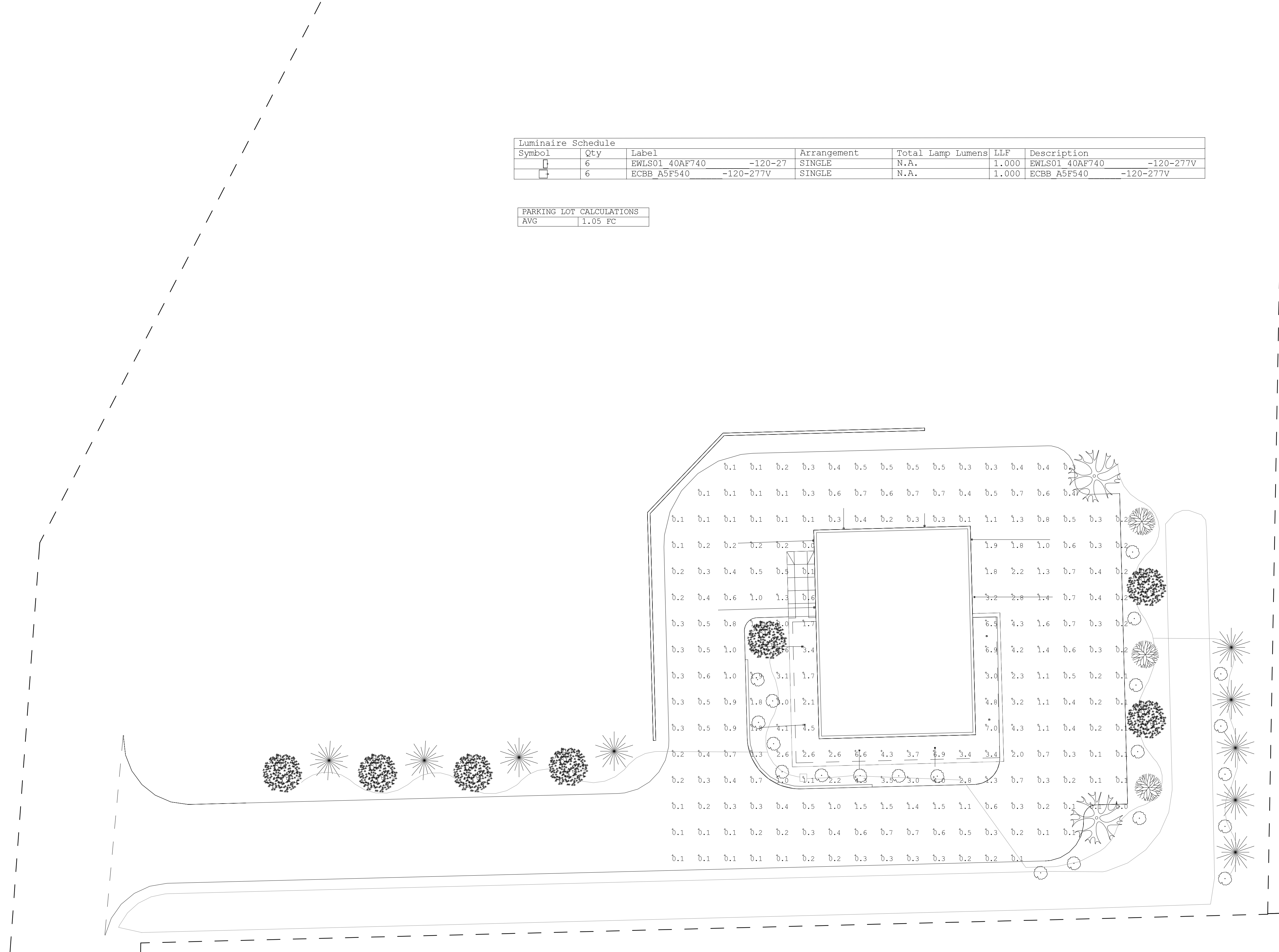
### LANDSCAPING NOTES:

- 1) PRESERVE AND PROTECT EXISTING VEGETATION THROUGH THE USE OF NATURAL ROCK BARRIERS TO VEHICLE TRAVEL (EXCEPT FOR EMERGENCY SECONDARY ACCESS)
- 2) FINAL LANDSCAPE PLANS ARE SUBJECT TO SPECIAL USE PERMIT CONDITIONS AND SHALL BE PREPARED BY A LICENSED LANDSCAPE ARCHITECT. DETAILS SUCH AS IRRIGATION MANUFACTURER AND FINAL TREE SELECTION ARE INTENTIONALLY OMITTED FROM THIS PRELIMINARY LANDSCAPING PLAN.
- 3) ALL SEED AND TREE SELECTIONS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO SITE LANDSCAPE INSTALLATION.
- 4) DISTURBANCE OUTSIDE OF AREAS SHOWN, OR OF ANY OTHER TYPE DURING CONSTRUCTION, SHALL BE TREATED WITH THE SAME GRASS/WILDFLOWER SEED MIX AS USED IN DRAINAGE SWALE REVEGETATION.
- 5) TEMPORARY IRRIGATION MAY BE REQUIRED FOR THE ESTABLISHMENT OF GRASS/WILDFLOWER AREAS.
- 6) IRRIGATION CONNECTION IS DEPENDENT ON SITE BEING ANNEXED INTO THE TMWA SERVICE TERRITORY.



0 JOY LAKE RD Madole Shop		SHEET L1 PRELIMINARY LANDSCAPING PLAN WASHOE COUNTY NEVADA PROJECT NO. 1-14-06-001			
 PREPARED FOR: MADOLE CONSTRUCTION 305 US 395 Washoe Valley, NV 89704 (775) 737-4414 DRAWN: ESH DATE: 2018-06-14		INCHES FULL SCALE 0 1/2 1 2 0 10' 20'			
NO	DESCRIPTION	DATE	BY	CHK'D	REVISIONS
0	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14			
REFERENCES					
1 2 3 4 5 6					
SHEET					
<b>L1</b>					





Luminaire Schedule							
Symbol	Qty	Label		Arrangement	Total Lamp Lumens	LLF	Description
□	6	EWS01 40AF740	-120-27	SINGLE	N.A.	1.000	EWS01 40AF740 -120-277V
□	6	ECBB A5F540	-120-277V	SINGLE	N.A.	1.000	ECBB A5F540 -120-277V

PARKING LOT CALCULATIONS	
AVG	1.05 FC

0 JOY LAKE RD  
 Madole Shop  
 SHEET P1  
 PHOTOMETRICS PLAN  
 WASHOE COUNTY  
 PROJECT NO. 1:148-06-001  
 NEVADA

PREPARED FOR:  
**MADOLE CONSTRUCTION**  
 305 US 895  
 Washoe Valley, NV 89704  
 (775) 757-4414

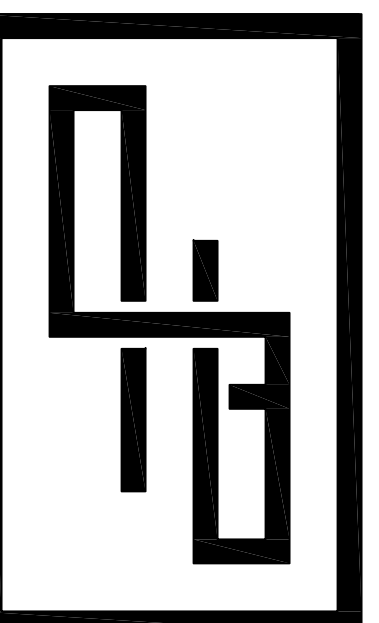
**Robinson Engineering**  
 1000 S. WASHINGTON BLVD., SUITE 100  
 WASHOE VALLEY, NV 89704  
 DRAWN: ESH  
 DATE: 2018-06-14

NO	DESCRIPTION	DATE	BY	CHKD
1				
2				
3				
4				
5				
6				

REFERENCES				
NO	DESCRIPTION	DATE	BY	CHKD
0	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14	EH/RS	NER

REVISIONS				
NO	DESCRIPTION	DATE	BY	CHKD
0	FOR WASHOE COUNTY SPECIAL USE PERMIT	2018-06-14	EH/RS	NER

SHEET  
**P1**



NEW CONSTRUCTION OFFICE & SHOP  
MADOLE CONSTRUCTION COMPANY, INC.  
JOY LAKE ROAD, WASHOE VALLEY NV 89704

Derwin H. Bass, AIA - Architect  
1220 Walker Dr. Reno NV 89511  
T/F: (775) 376-8636 madoleconstruction.com

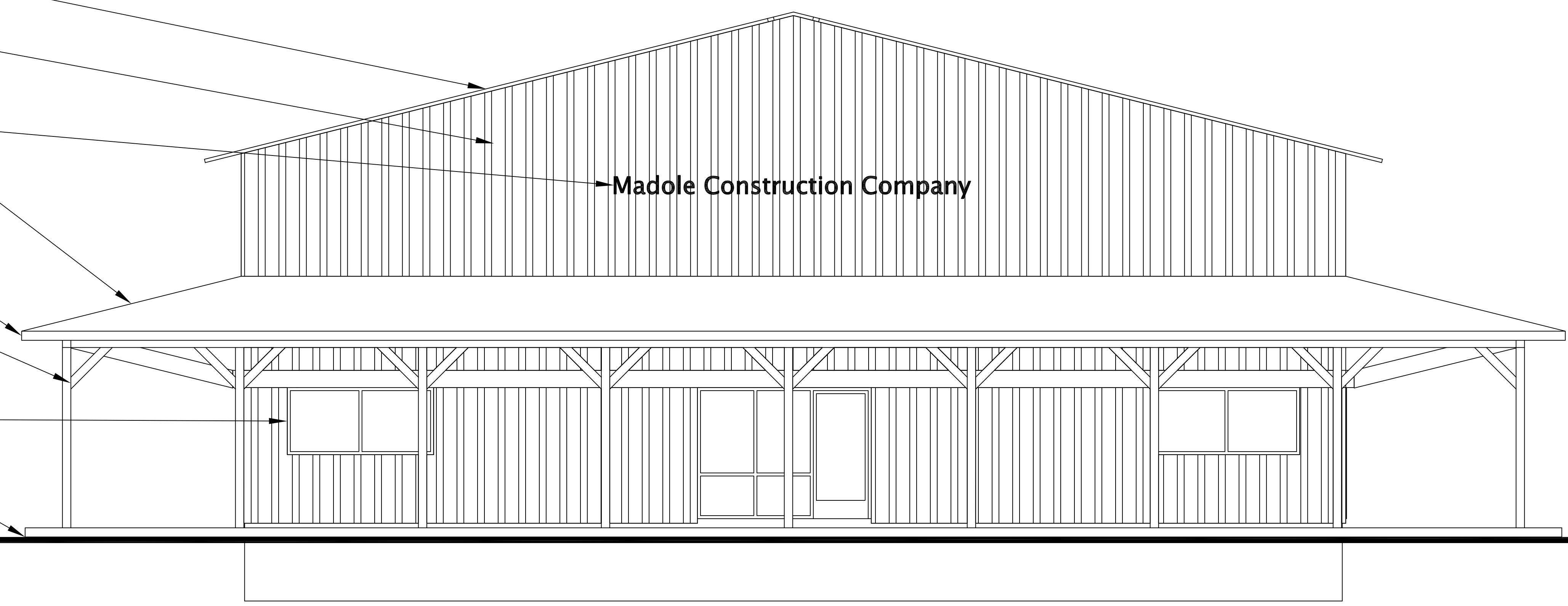
EXTERIOR ELEVATIONS

DATE: 06/14/2018  
DRAWN BY: DHBAS6  
SCALE: NOTED  
JOB #: 2018-0010

ELEVATIONS SHEET #

ELEV-1

- PRE-FINISHED STEEL RIBBED ROOFING - COLOR: WHITE
- PRE-FINISHED STEEL RIBBED SIDING - COLOR: LIGHT SANDY BROWN
- PRE-FINISHED ALUMINUM SIGN LETTERS - COLOR: BRONZE
- COMPOSITION ASPHALT SHINGLE ROOF - COLOR: CHOCOLATE BROWN
- PAINTED WOOD FASCIAS - COLOR: CHOCOLATE BROWN
- PAINTED WOOD FRAMING FOR PORCH - COLOR: CHOCOLATE BROWN
- PRE-FINISHED ALUMINUM DOOR & WINDOW FRAMES - COLOR: BRONZE
- FINISHED GRADE AT BUILDING

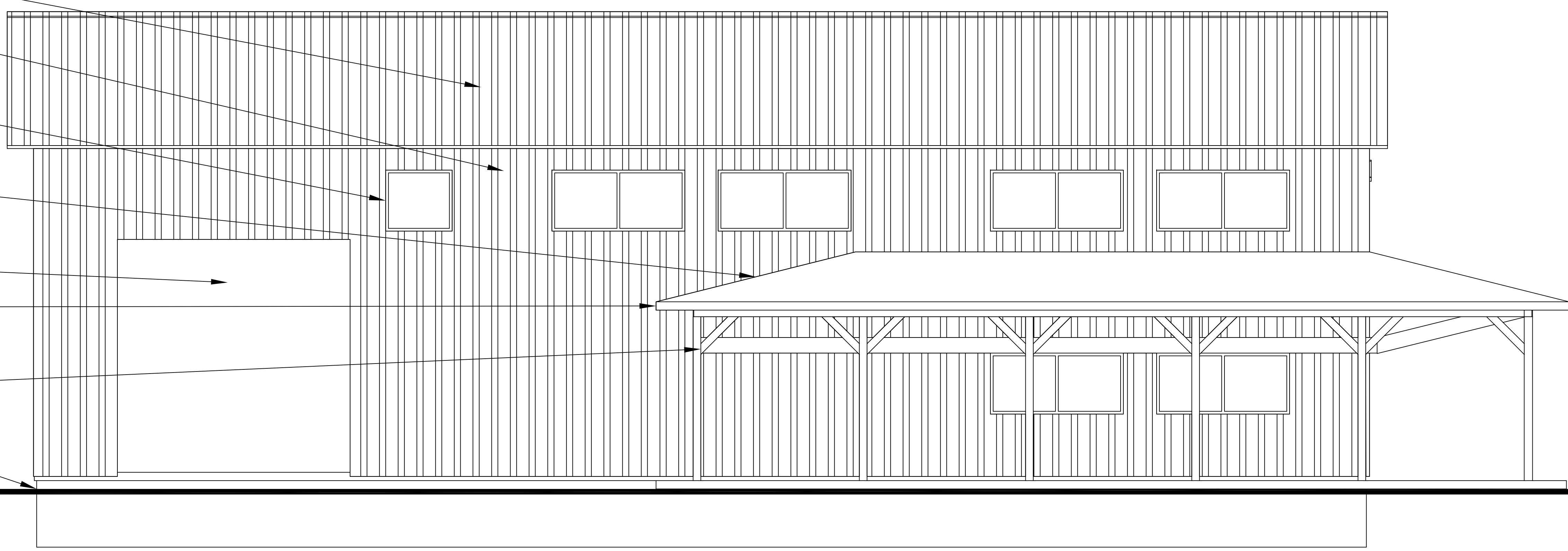


Madole Construction Company

FRONT ELEVATION

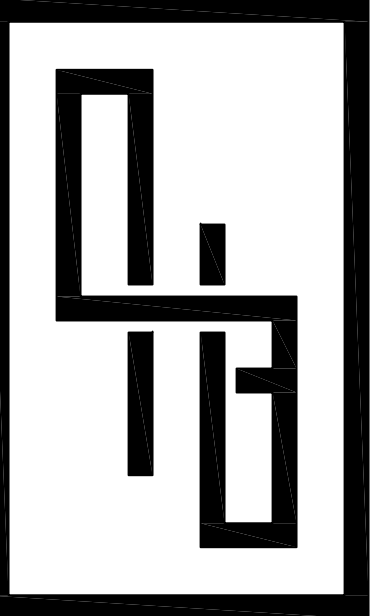
SCALE - 1/4" = 1'

- PRE-FINISHED STEEL RIBBED ROOFING - COLOR: WHITE
- PRE-FINISHED STEEL RIBBED SIDING - COLOR: LIGHT SANDY BROWN
- PRE-FINISHED ALUMINUM DOOR & WINDOW FRAMES - COLOR: BRONZE
- COMPOSITION ASPHALT SHINGLE ROOF - COLOR: CHOCOLATE BROWN
- PRE-FINISHED 14' OVERHEAD COILING DOOR - COLOR: BROWN
- PAINTED WOOD FASCIAS - COLOR: CHOCOLATE BROWN
- PAINTED WOOD FRAMING FOR PORCH - COLOR: CHOCOLATE BROWN
- FINISHED GRADE AT BUILDING



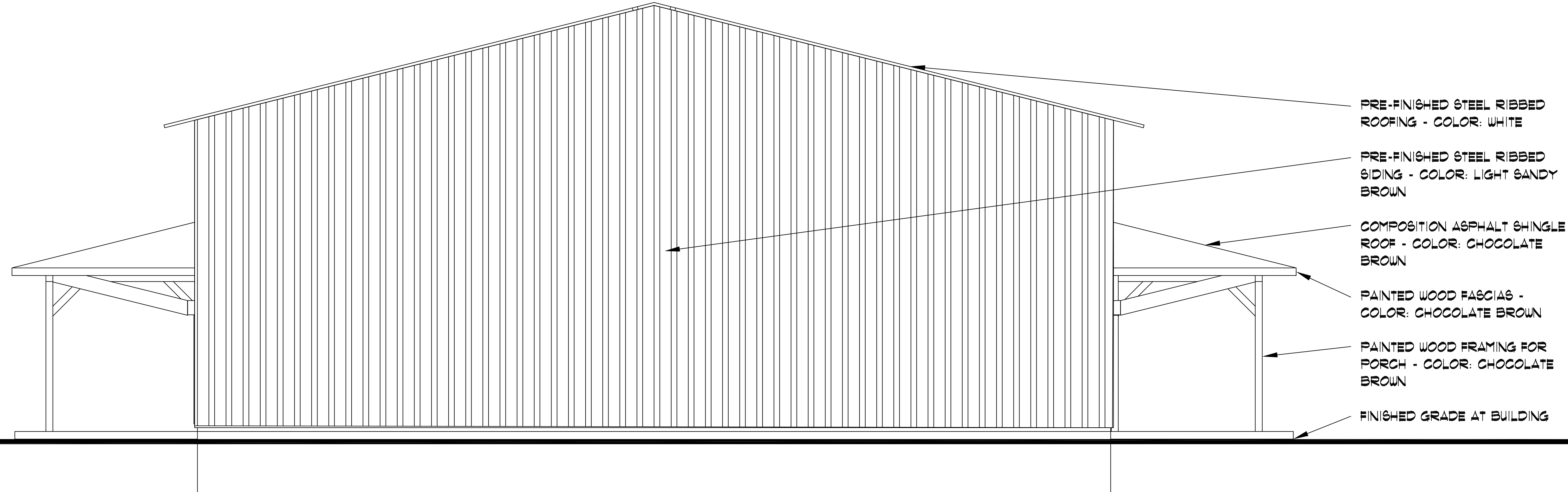
LEFT SIDE ELEVATION

SCALE - 1/4" = 1'



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JOY LAKE ROAD, WASHOE VALLEY NV 89704

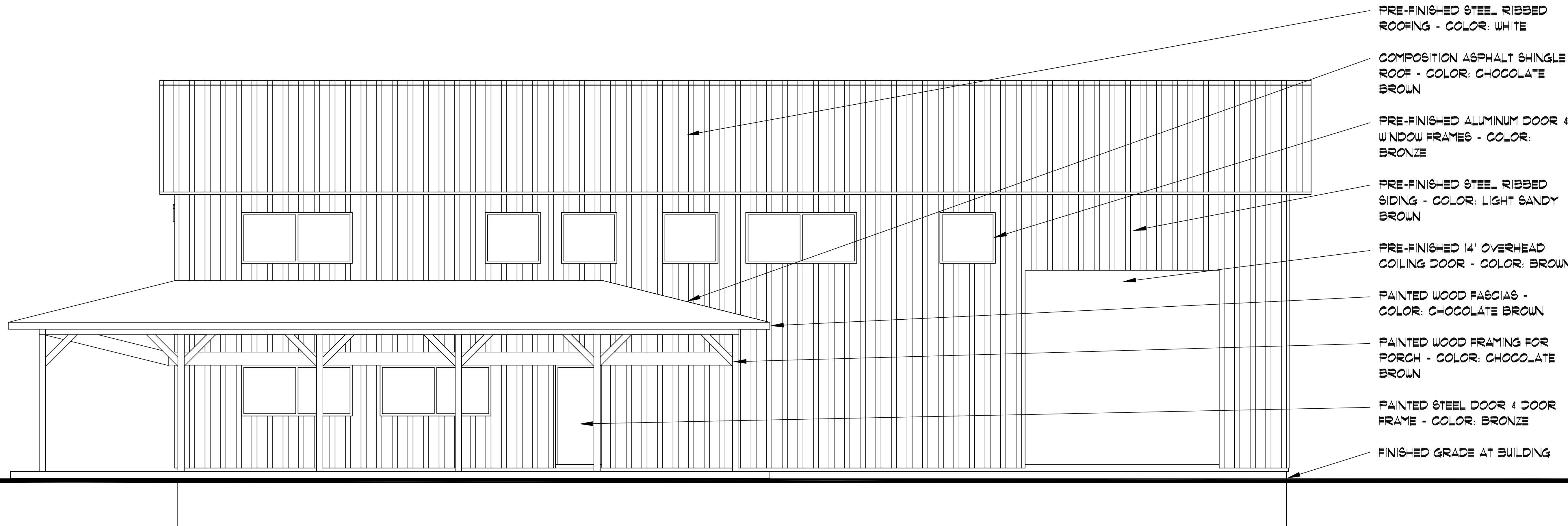
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- COMPOSITION ASPHALT SHINGLE ROOF - COLOR: CHOCOLATE BROWN
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- PAINTED WOOD FRAMING FOR PORCH - COLOR: CHOCOLATE BROWN
- FINISHED GRADE AT BUILDING

**BACK ELEVATION**

SCALE - 1/4" = 1'



- PRE-FINISHED STEEL RIBBED ROOFING - COLOR: WHITE
- COMPOSITION ASPHALT SHINGLE ROOF - COLOR: CHOCOLATE BROWN
- PRE-FINISHED ALUMINUM DOOR & WINDOW FRAMES - COLOR: BRONZE
- PRE-FINISHED STEEL RIBBED SIDING - COLOR: LIGHT SANDY BROWN
- PRE-FINISHED 14' OVERHEAD COILING DOOR - COLOR: BROWN
- PAINTED WOOD FASCIAS - COLOR: CHOCOLATE BROWN
- PAINTED WOOD FRAMING FOR PORCH - COLOR: CHOCOLATE BROWN
- PAINTED STEEL DOOR & DOOR FRAME - COLOR: BRONZE
- FINISHED GRADE AT BUILDING

**RIGHT SIDE ELEVATION**

SCALE - 1/4" = 1'

**EXTERIOR  
ELEVATIONS**

DATE: 06/14/2018

DRAWN BY: DHBAS6

SCALE: NOTED

JOB #: 2018-0010

ELEVATIONS

SHEET #

**ELEV-2**